



DESIGN CODE

Revision 3

McGarvey Residential Communities
June 2013

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Welcome to Beach Haven

Beach Haven is located on the Atlantic Coast of Florida in northern Flagler County. This ocean view neighborhood is nestled beneath a wind sculpted oak hammock. As a coastal community, the residents benefit from the natural climate including ample sunshine and continuous sea breezes. Other amenities such as the soothing sounds of the surf, the proximity to leisurely walks on the beach, and the shade provided by majestic oak trees contribute greatly to the quality of life for residents.

Beach Haven is designed to evoke a sense of community typical in traditional neighborhoods by producing a pedestrian friendly environment complete with sidewalks, footpaths, and boardwalks. The success of the neighborhood comes from enhancing the site's natural features while defining an architecture that shapes a high quality streetscape and built environment. The outdoor spaces such as streets, alleys, and yards, in essence, become the community's living room, with the homes

creating the walls; the streets, walks, and lawns become the floors; the trees and the sky the ceiling; and light posts, signs, and benches the furniture. The neighborhood is further enhanced by design elements such as porches, balconies, and arbors which add character and interest to each home. These design elements provide decoration for the public realm and define transitions to the private spaces. Promoting a consistent quality of architecture in Beach Haven ensures a beautiful community that you will be proud to call home.

The Architecture of Beach Haven

The style of homes at Beach Haven is best described as Coastal Vernacular, a hybrid style that combines the characteristics of Florida Vernacular and West Indies architecture with influences from the Spanish colonial period in St. Augustine. The goal is to produce an architecture that is responsive to natural settings and climatic conditions and to create a beach cottage feeling that makes residents feel like they are on vacation. This design style creates an architectural language which encourages outdoor living through the use of porches, balconies, and patios. These features capture breezes, provide shade to rest and relax in, and create strong lines of shadow that emphasize the architectural elements of the house.

The key to producing quality architecture lies in providing guidelines that maintain a

consistent proportion and scale. In Beach Haven it is essential for individual buildings to be designed with proportions based on a human scale. Large, oversized houses with distorted elements fail to speak to the human scale and often appear awkward. Elements should be vertical rather than horizontal with features appearing taller rather than wider. The resulting buildings have more presence, thereby shaping and defining the public realm with a consistent character.

It is important to define and require specific individual elements on all homes to create a sense of community. The placement of the homes on the building site and the design of distinct elements such as porches, railings, balconies, and arbors, promotes an interaction between the homes and the street. The appropriate design and punctilious selection of window trim,

soffits, roof shape, and building materials are necessary to provide character and texture. The Beach Haven Design Code is intended to help shape the architecture and resulting neighborhood. It is the intent of the Design Code to guide the design of individual homes and to serve as a tool to assist the owners, architects, and builders in creating beautiful homes while reinforcing the neighborhood vision. The graphics in this book are illustrations of concepts and ideas and are not meant to prescribe specific house shapes, forms, or architecture. Creativity is encouraged in all designs as long as proper proportion, scale, and attention to detail are achieved. We believe that doing so will create a timeless architecture and a sense of community that can be enjoyed by residents now and in the future.





The Architecture of Beach Haven

Architectural Review

Beach Haven is envisioned as a quiet, coastal community; a destination for people who want to enjoy Florida and its unique natural features. Our guidelines have been designed to help define the architectural and landscape elements that make up the built environment of the community. To ensure that new homes, additions, renovations, and other built elements will improve and enhance this vision, all such projects are subject to review.

To administer this process the Beach Haven Architectural Review Board (ARB) has been established (See also the Declaration for Beach Haven for more information). The purpose of this board, like this code, is not to dictate the design of new homes but to protect the architectural consistency of the community and the collective property values of the owners.

All new construction, additions, renovations, improvements, site features, landscaping, etc. shall be submitted to

the ARB for review prior to the commencement of construction. The ARB's review determines compliance with the design code, site planning, and aesthetic issues and in no way absolves the owner from complying with the other codes and ordinances of Flagler County, and other state or federal requirements.

More specifically, the ARB will review each submission for issues such as site placement, building design, construction, materials, colors, landscaping, site features, etc. The ARB's criteria for evaluation are generally contained within the Design Code. Since the code is not designed to limit individual expression, the ARB may approve deviations on a case by case basis depending on unique site conditions, tree locations, or architectural merit. It must be clearly noted that any exception made will be site specific and shall not set precedents for future decisions. Variances granted by the ARB are not approvals from other agencies nor does it guarantee that such variances will be granted by other agencies. The owner is solely responsible for obtaining such variances and approvals.

Part of the job of the ARB is to educate owners, designers and contractors on the requirements of the code. However it is not the job of the ARB to design the houses.

Information regarding submissions to the ARB may be obtained from the ARB. A fee will be charged per house upon submission of the plans for review unless waived by Founder. Should a house submittal be continually reviewed and is not meeting the requirements of the design code, additional review fees may be assessed.

The process will be performed in a series of steps, beginning with the general design issues down to specific materials selections. The details of the Architectural Review process are outlined in the Architectural Review section in a later section of this book.

The Neighborhood Plan

Several different lot types have been established in Beach Haven with variations in lot size and setbacks. These were developed in response to the differences in the topography, location, and natural elements of each lot. The larger setbacks on the western half of the community are designed to allow flexibility in placing the house to save specimen trees and to promote a variety of unique designs with diverse responses to the natural setting.

Some lots are prominently located at the intersections and corners of main roadways. The siting and design of homes on these lots are essential to establishing the overall image of the neighborhood and their designs will require special attention.

The map on page 5 shows the locations of the various lot types. Page 6 provides detailed parameters for setbacks for each type.

Scale (in feet)
90 0 90 180



Beach Haven

www.BeachHavenFlorida.com

A McGarvey Residential Community

Note: This is an artistic rendering and should not be relied on for accuracy. Please refer to recorded plat for more information.

Site Planning

A residential community is defined by the quantity, proximity, and visual appearance of its dwellings. At Beach Haven our guidelines have been created to encourage the growth of a neighborhood with the unique sense of a traditional community.

Setbacks

Setbacks and lot coverages are traditional site planning and zoning tools which establish the buildable area of a lot. At Beach Haven the setbacks are designed to produce a traditional Florida coastal community which reflects the unique characteristics of each lot type.

The "Build-To Zone" is designed to address the facade of the house to the street. The front of the house must fall within this zone. The effect is to reinforce the visual edge defining the streetscape and strengthen the image of Beach Haven. Elements such as bay windows and balconies may be allowed to project into the front setback by up to 3' as approved by the ARB on a case by case basis.

Front Setback

Type 1-A: 12'-0" to 15'-0" build to zone

Type 1-B: 12'-0" to 15'-0" build to zone

Type 1-C: 12'-0" to 15'-0" build to zone

Type 2-A: 12'-0" to 15'-0" build to zone

Type 2-B: 12'-0" to 15'-0" build to zone

Type 2-C: 12'-0" to 15'-0" build to zone

Type 3-A: 15'-0" min. for a total front and rear of 35'-0"

Type 3-B: 15'-0"

Type 3-C: 15'-0" min. for a total front and rear of 35'-0"

Side Setback

5'-0"

5'-0"

3'-0" min. for a total of 10'-0"

7'-6" min. for a total of 20'-0": 5'-0" garage

5'-0" min. for a total of 15'-0"

7'-6" min. for a total of 20'-0": 5'-0" garage

7'-6" min. for a total of 20'-0": 5'-0" garage

7'-6" min for a total of 20'-0": 5'-0" garage

7'-6" min.; 2'-6" from landscape easement

Rear Setback

5'-0" min. from rear lot line or easement*

5'-0" min. from rear lot; 15'-0" on lake/pond*

5'-0" min. from rear lot line or easement*

5'-0" min. from rear lot line or easement*

15'-0" for main house; 10'-0" for garage

15'-0" for main house; 10'-0" for garage

15'-0" min. for a total front and rear of

35'-0"; 10'-0" for garage

10'-0" from landscape easement for main house; 5'-0" for garage or out bldg.

15'-0" min. for a total front and rear of 35'-0"; 10'-0" for garage.

***Note: Garages that face the alley shall have a minimum 20' setback from the alley curb to allow cars to park in the driveway.**

Building Height

In Beach Haven, overall building height may not exceed 35'. At the base, height is measured from the highest maintained, substantive natural elevation on the site or one foot above the crown of the road in front of the property. At the top, height is measured to the midpoint between the eave and the peak of the highest roof. This height limit does not include a separately defined tower roof.

Each house may include a single tower element which is allowed to reach a maximum height of 42' as measured to the midpoint between the eave and the peak of the highest tower roof. They may be enclosed or open-air.

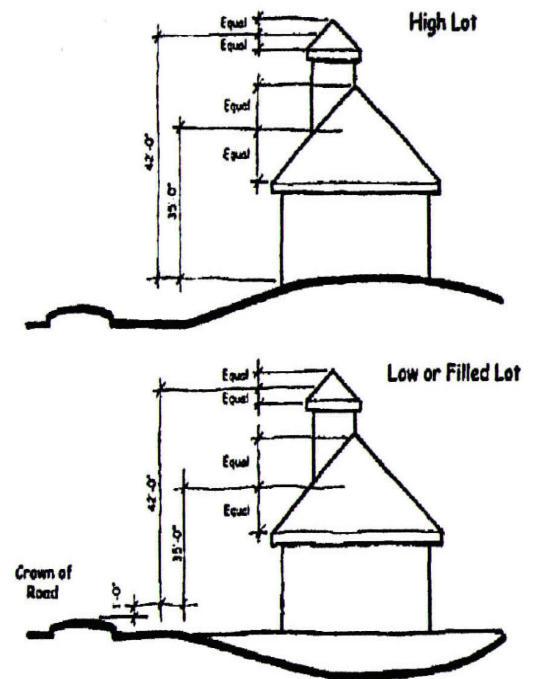
Towers articulate the roof lines of the neighborhood and can be dynamic architectural elements. Their use is encouraged in Beach Haven. However, they

are limited in size and may not have complete kitchens or bathrooms; however, wet bars and powder rooms are permitted. The roof line of the tower must be detached from the roof of the main house to create a separate element.

Houses are required to have a minimum first floor ceiling height of no less than 9'-0". When reviewing designs the ARB will take into consideration the visual impact a residence has on its adjacent neighbors.

Note: Owner shall confirm point of measure

with local building department during design stage.



Site Planning

Building Size Limitations

Limiting the amount of enclosed square footage of each floor level, begins to shape the overall mass and visual impact of each house in Beach Haven. Designers shall take special care in articulating the building mass of each residence. Stepped facades and tower elements lend a sense of scale and hierarchy to a house. Note that second and third floor spaces may be located above other spaces including porches, as long as the total area for that floor does not exceed the enclosed area limitations.

Minimum House Size

Minimum house size is another way to reinforce proportion throughout the community. The minimum square footage required on any type of lot is 1,300 conditioned square feet.

Floor Areas

- Second Floor Limitations:

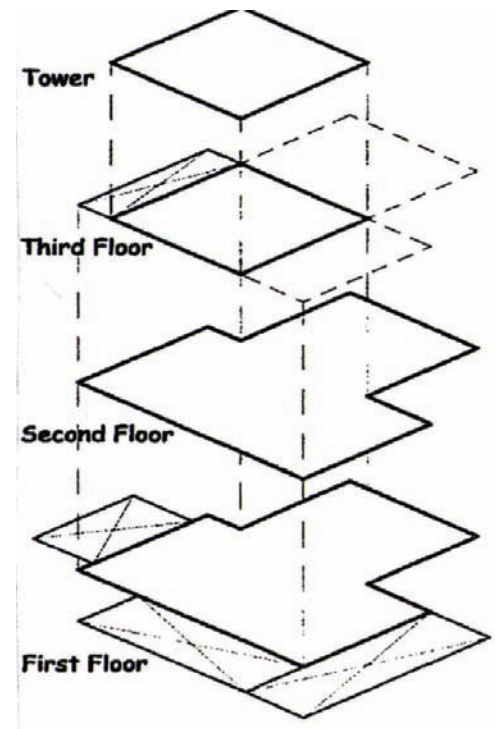
(35' height limit, see page 7) 100% of enclosed area of first floor including garages, but excluding porches.

- Third Floor Limitations:

(35' height limit, see page 7) 40% of enclosed first floor area including stairs but excluding garage and porches. Up to 15% of third floor area allowed as uncovered exterior deck.

- Tower/Scenery Lofts:

(42' height limit, see page 7) If enclosed or covered, it may not exceed 200 square feet (not including stairs). Uncovered porches and balconies are limited to an additional 100 square feet. (300 total)



Porch Configuration

Houses in Beach Haven are required to have a front porch and/or balconies. Porches and balconies are important elements of the Coastal Vernacular style and are primary architectural means of facilitating interactions among neighbors. Side porches are encouraged on all houses and are required on lots with multiple street frontages. Minimum porch coverages are listed below:

Lot Types 1A and 1B:

40% coverage of front facade (street side); 50% on A1A side

Lot Types 2A, 2B, and 2C:

40% coverage of front facade

Lot Types 3A, 3B, and 3C:

25% coverage of front facade

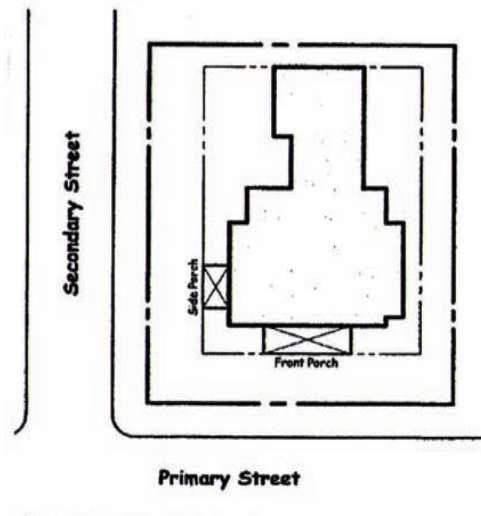
15% coverage of secondary facade

Corner Lots:(See Building Orientation)

35% coverage of primary facade

20% coverage of secondary facade

(1st, 2nd, or 3rd floor is acceptable)



Building Orientation

The orientation of a house to the street is an important ingredient in establishing a familiar rhythm within the community. On many lots it is easy to determine the front orientation of the house.

For the lots listed below that front several streets, it is essential to design a residence which addresses each street frontage with an appropriate architectural statement. These lots are required to have porches or balconies on the front as well as a porch, balcony or other architectural detail on sides that face a side street.

| | |
|-----------|---------------------------|
| Block 'A' | Lot 1 |
| Block 'B' | Lots 1, 2, 11, 12, and 20 |
| Block 'C' | Lots 1, 10, 11, and 19 |
| Block 'D' | Lots 1 and 22 |
| Block 'E' | Lot 1 |
| Block 'I' | Lot 1 |

Site Planning

Accessory Functions

▪ Garages

Unlike a typical suburban development, Beach Haven is a pedestrian-oriented neighborhood. The Site Plan and Design Code have been created to de-emphasize the role of the automobile and reduce the presence of garages along the streetscape. To achieve this, many lots in Beach Haven have an alley to the rear of the house from which the garage must be accessed.

In locations where garage access is from the street, garages shall be set back from the front of the house or porch a minimum of 12'. In addition, the designer is required to minimize the visual impact of the garage.

Combinations of design techniques may include trellis treatments, louvered panels on the doors, and overhangs with brackets or columns. "Courtyard" type garages where the garage is set in front of the main house are not permitted.

Each residence will be required to have two on site parking spaces. Lots may have more than two internal garage parking spaces, however, the additional spaces cannot cause any specimen quality trees to be removed and cannot front the main street. An alley access garage may be oriented with front or side entry, however, setbacks vary depending on the direction of entry. Corner lots are important visual anchors to the

community and require ARB review of the garage access location prior to design.

On Ocean View Lots it is acceptable for garages to be placed under the house, provided that the garage is set back behind columns or enhanced with other architectural elements. A house utilizing this scheme will still be required to adhere to all other design requirements of the Beach Haven Design Code. Design elements such as the front porch, maximum third floor square footage, and maximum building height will require careful study.

Site Planning

The use of detached garages and other accessory buildings is encouraged in Beach Haven. The spaces created between the buildings are ideal for outdoor gardens and intimate seating areas. Accessory buildings and detached garages with rooms above are limited to 28' in height. Height is measured in the same manner as prescribed for the main body of the house.



▪ Other Structures

Features such as gazebos, storage sheds, workshops, and playhouses can make the homes within Beach Haven special. Accessory structures shall match the style, materials and detailing of the main house. They shall not exceed 12' in height and shall comply with the building setbacks outlined in the site planning section or in the P.U.D.

Play structures such as swing sets, monkey bars, slides, and playhouses are allowed but must adhere to several criteria. They shall not exceed 12' in height, must comply with building setbacks, and are limited to rear yards. All such elements must be approved by the ARB.

Variations to these criteria will be allowed on a case-by-case basis as approved by the ARB. In all situations it is important to recognize that Beach Haven is a vibrant, growing community. Neighbors' privacy and the visual impact on their views should

always be considered when selecting styles and colors for play structures.

▪ Rooms Over Garages

Rooms over garages serve a variety of functions including mother-in-law suites, guest rooms, hobby rooms, home offices, studios, game rooms, and workshops. These accessory uses are all encouraged in Beach Haven. A room over a garage should not exceed the square footage of the garage below excluding exterior stairs, porches, or balconies and may not exceed 28' in height.

Pools, Pool Enclosures, and Hot Tubs

One of the pleasures of coastal living in Florida is enjoying year-round outdoor activities. At Beach Haven swimming pools and hot tubs are permitted as follows:

On 50' wide lots pools are permitted to the rear or side yards of the house. However, pool enclosures are not allowed on 50' wide lots.

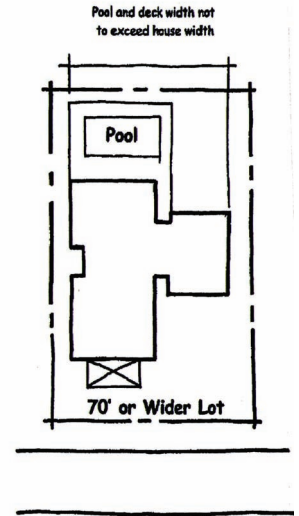
On 70' wide or wider lots, pools are permitted if located to the rear of the house. Aluminum pool enclosures are permitted but all designs must be reviewed and approved by the ARB.

■ Pool and Hot Tub Locations

Swimming pools should be located at the rear of the property except in a courtyard style house where side yard pools may be permitted. On 50' wide lots, pool decks shall not be closer than 2' from the side yard property lines. On 60' wide or wider lots the width of the pool and adjacent pool deck together shall not exceed the width of the house behind which it is placed.

Side yard pools must be screened from the view at the street with privacy walls or fences that are set back a minimum of 3' from the front face of the house. Side yard pools are not permitted to have a screen enclosure.

Above ground pools are not permitted. Above-ground hot tubs and spas are permitted but must remain within the setbacks. Hot tubs and spas shall be screened from view with fencing or garden walls complimentary in detailing to the main house.

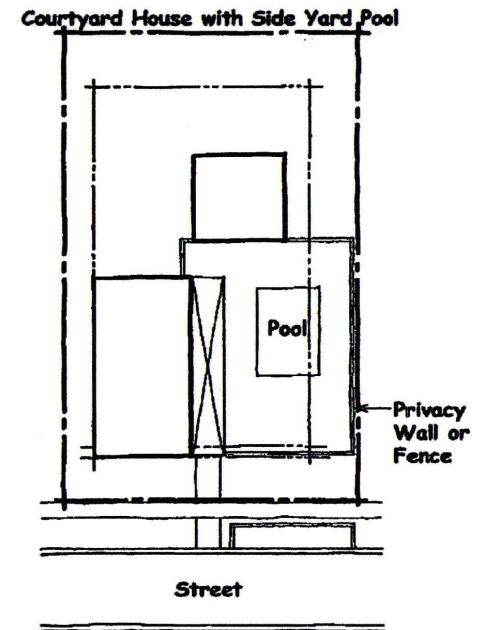


Pool Enclosures

Pool enclosures are allowed on certain lots in Beach Haven provided they include architectural elements which match the style and detail of the main house. Typical aluminum pool enclosures are only permitted as infill within architectural elements. Enclosures shall be located at the rear of the property and shall not exceed the width of the house. **Enclosures cannot violate the setbacks on any lot type.**

▪ Pool Equipment

All pool equipment shall be located where it will minimize its visual and aural impact on neighbors. All pool equipment must be screened from the view of adjacent properties with privacy walls surrounded by vegetation.



Site Planning

Parking

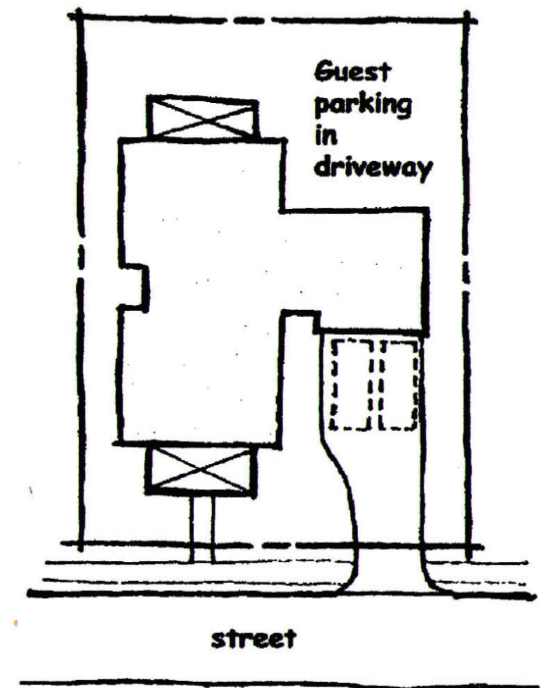
▪ On Site Parking

As described in the Garage planning guidelines, each residence is required to provide a minimum of two on-site parking spaces. If a guest apartment is constructed above a garage, an additional guest parking space is required on site. This additional space can occur in the driveway if necessary.

Beach Haven's garage setbacks allow ample room for a minimum of two additional guest parking spaces. These additional guest parking spaces can occur in the driveway or at the street side parking space as described in the Beach Haven Design code. (See Paving section for additional information on maximum driveway widths.)

Lots with alley access must provide required parking off of the alley.

Driveways shall be set back from adjacent property lines by a minimum of 3'. This allows for a required landscape buffer between adjacent lots and prevents side by side driveways from forming a wide expanse of concrete.



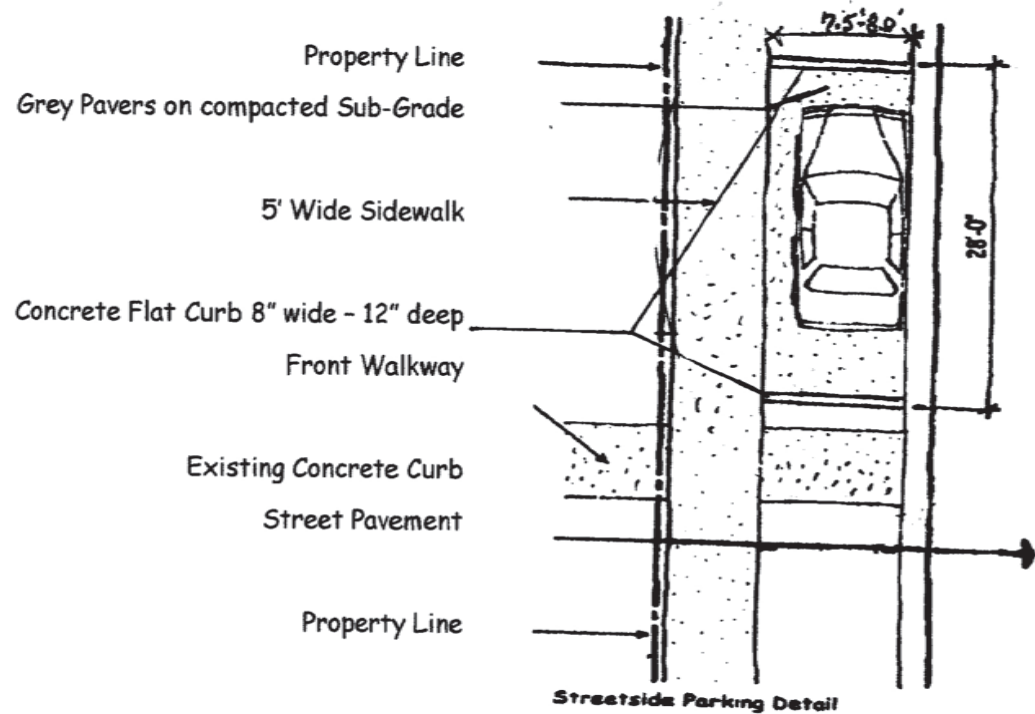
On Site Parking

Street Side Parking

Beach Haven's streets are organized to minimize the visual impact of the automobile and to encourage slower driving speeds in its traditional neighborhood.

Residents on lots with alley access, should park their cars in the rear driveway. However, to accommodate visitors in the front of the house, lots with alley garage access must install (1) off-street parking space in the right-of-way in front of their house. See the illustration to the right for off-street parking dimensions and materials. The length of the space may be extended as approved by the ARB. The location and size of the space must be shown on the design plan submitted to the ARB for approval.

The parking space must be made of grey pavers.



Architectural Elements

The many components that comprise the houses of Beach Haven draw from a regional palette of architectural elements. The following section explains what one may expect to find while walking down the streets and sidewalks of the completed community.



Architectural Elements

Porches and Balconies

Part of the charm of living in a Coastal Florida community is relaxing on a broad front porch. Tall enough to catch prevailing breezes and wide enough to accommodate a comfortable chair, porches invite neighbors passing by to engage in friendly conversation and help to create an interactive community.

Traditional materials and means of construction create a visual language within a community that help tie it together. Porches may be supported by piers made of stucco, or tabby faced CMU, or supported by CMU or extended concrete footer stem walls, faced with stucco or tabby. Upper floor porches and balconies are permitted, but size and location must address the privacy of adjacent neighbors.

The main entry shall be from the 1st floor. Exterior grand staircases that access directly to the 2nd floor are only permitted in Ocean View lots and will require

appropriate massing and detailing as approved by the ARB. Concepts for "upside-down" house designs will also be considered, however, they will require creative entry solutions .

Porches and balconies are permitted to have screened infill. However, the first floor front porch is not permitted to be screened in.

Wood porch steps, either painted or stained, are required for all front porches. Porch decking materials, like composite deck materials or wood, laid on joists supported by piers, are preferred by the ARB. However, patterned concrete or tile, are acceptable if approved by the ARB. Special attention shall be paid to detailing the edges of decks using these materials. If a concrete deck is used, the porch edges detail should simulate a wood deck edge. Furthermore, the construction of piers and lattice infill must be clearly detailed - see sketch on right facing page. Front porch

steps may project up to 36" into the front yard setback with County approval.

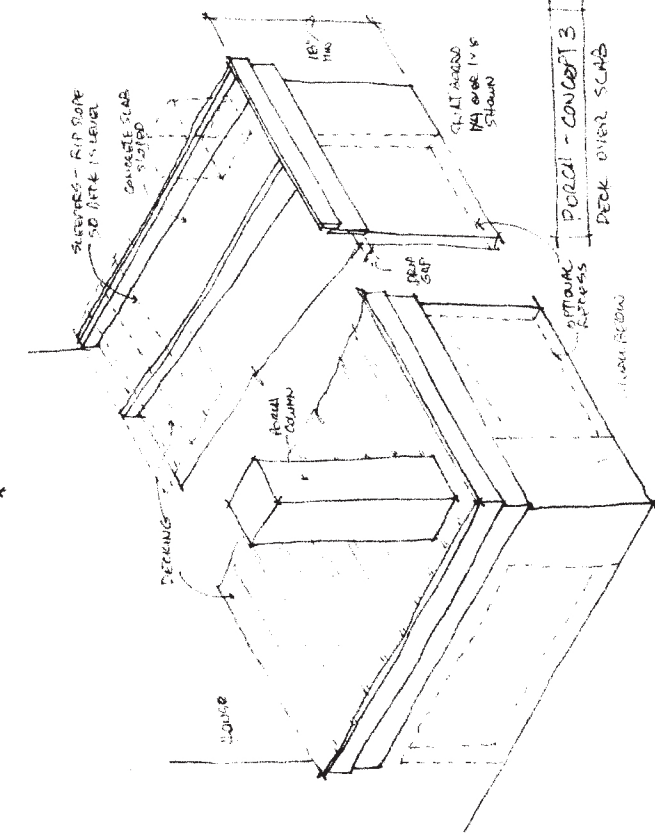
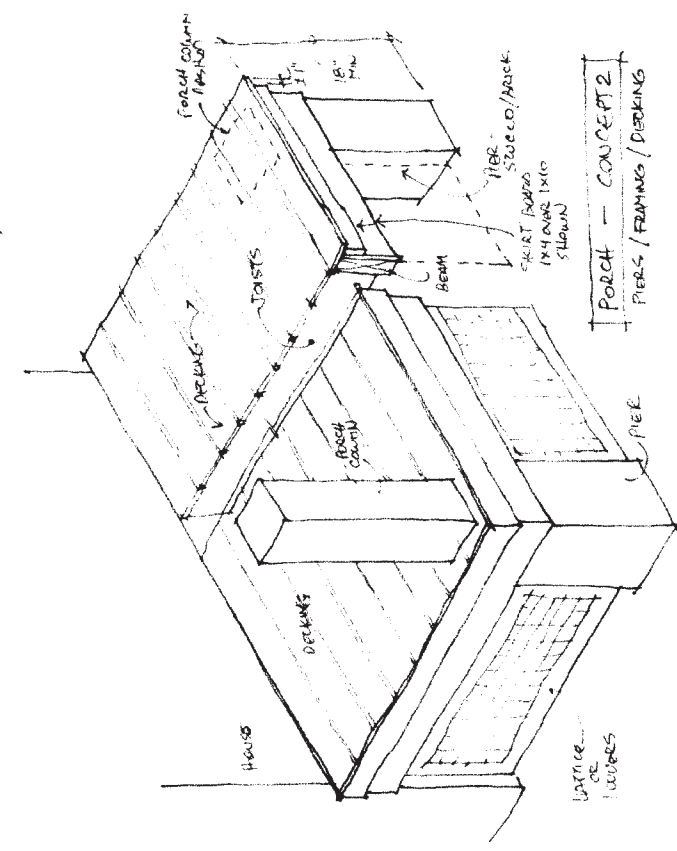
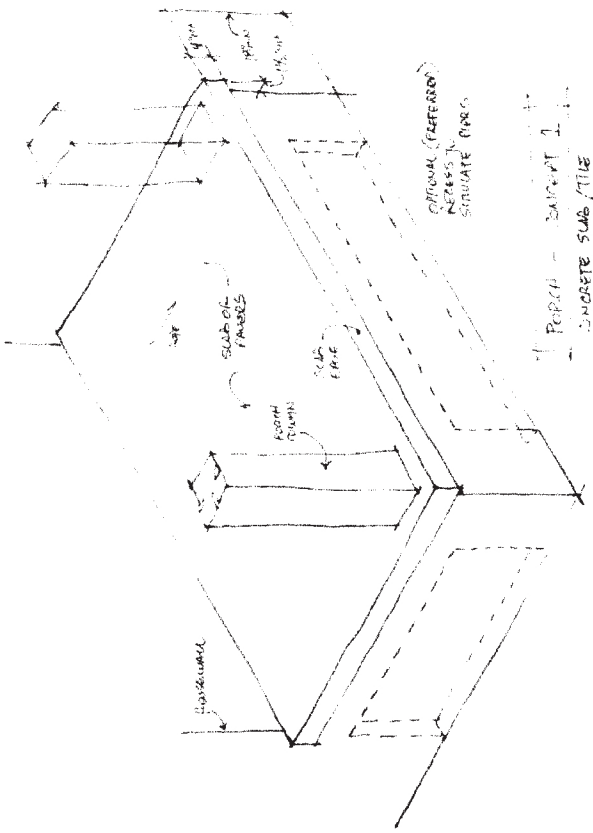
The ARB encourages each home to showcase a creative and unique railing detail. Wood railings are preferred. Alternate railing materials such as metal, vinyl, plastic and composites may be acceptable if approved by the ARB. Columns and posts may be wood, stucco, stone, tabby or architectural fiberglass as appropriate for the detailing of the house. To foster new design solutions, the ARB may limit the approval of certain styles of railings and columns based on previous use within the community.

A deep porch provides shade from the summer sun and protection from rain. Allowing enough room to circulate around furniture is also important. To accommodate these functions front porches should ideally have a minimum depth of 8'-0", but depth of porches may vary.

Proportion, scale, and hierarchy are all key factors in a porch's relationship to the

Beach Haven

Porch Construction Configurations



Architectural Elements

house and its surroundings. A minimum front porch deck height of 18" above the finished grade with a minimum of 3 risers up to the front porch is required. This accentuates the porch as the entry into the house.

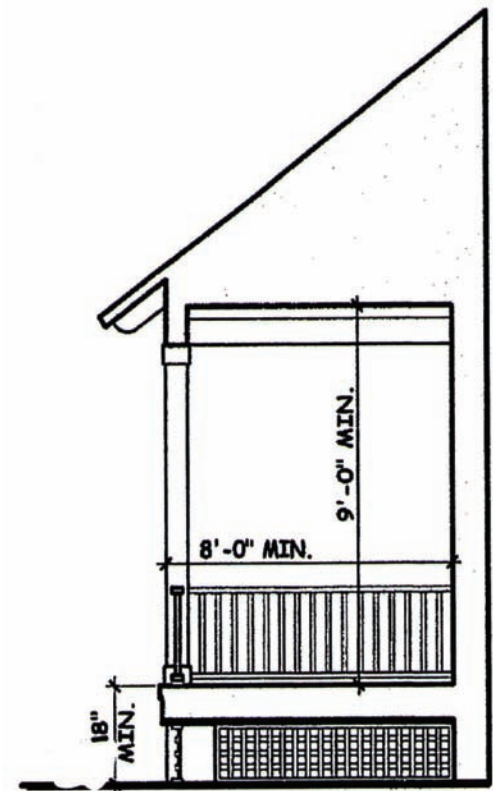
It should be noted that current building codes require a 36" high guardrail on porches more than 30" above grade. This guardrail height interrupts the line of sight for a person sitting on the porch. The Architecture Review Board suggest railing heights be set at a more traditional 28"-30". Front Porches are required to have a minimum 9'-0" ceiling height. Porch accessories, like ceiling fans, are encouraged as long as they are appropriate to the design of the house.

If porches are supported by piers, the spaces between porch piers and below the deck beam should be enclosed with an open lattice, louvered panels, or other

architectural screens appropriate to the design of the house. These allow for air movement under the porch structure while keeping out animals and plant debris. Crawlspace enclosure panels should be made of wood. Vinyl materials may be allowed, but must be approved by sample on a case-by-case basis by the ARB.

Balconies should have details and materials that relate to the house design as a whole. They should be placed with consideration for neighbors' privacy. Decorative brackets or projecting structural beams are required at balconies even if non-structural.

Balconies may replace a portion of the minimum requirement for front porch coverage subject to ARB approval. In such cases, the balcony must be a minimum of 42" wide. Per the Beach Haven PUD balconies may project up to 36" into the front yard setback.



Architectural Elements

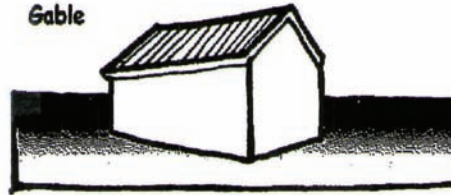
Roofs

A unifying element of the houses in Beach Haven is the distinctive character of their roofs.

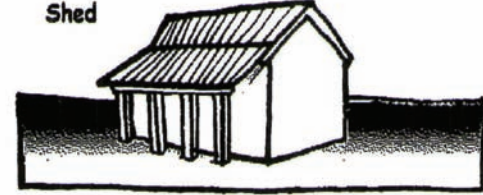
Roofs in Beach Haven are encouraged to be metal roofs since they invoke the "beachy" image for the Neighborhood. Types may include standing seam, corrugated, 5-V crimp, or metal shingles. Houses may have asphalt shingle roofs using an architectural grade shingle with a minimum 30 lb class. If roofs are covered with architectural grade asphalt shingles, metal roofing material must cover a section of the roof over the front of the house. The wide selection of material colors available when combined with six basic roof shapes will provide a diverse palette for design.

To enhance continuity throughout the neighborhood, a minimum 6:12 and maximum 12:12 roof pitch is allowed. Secondary shed and porch roofs may be as low as 3:12. Roof pitch must remain consistent throughout the design. Mansard and flat roofs are prohibited. Dual slope roofs will be considered on a case by case basis.

Gable



Shed



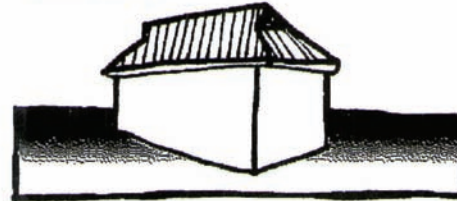
Hip



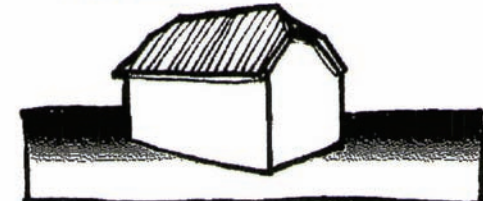
Flared Hip



Gable on Hip



Hipped Gable



Architectural Elements

- **Chimneys**

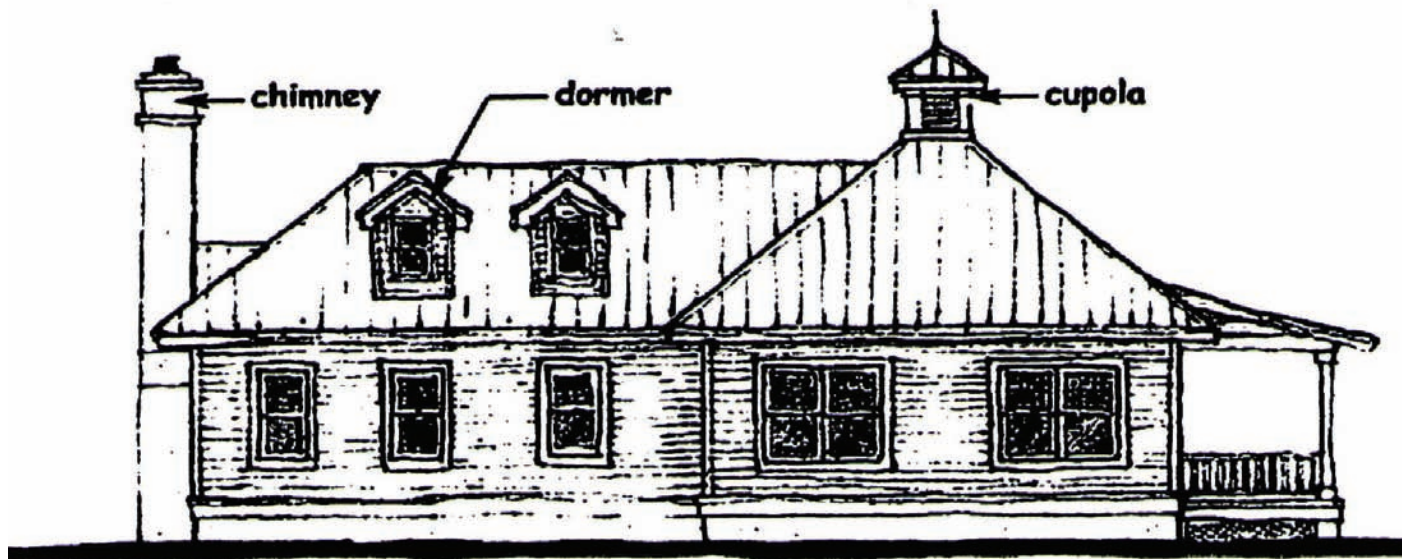
In residential design, chimneys provide a strong vertical statement and exemplify the image of hearth and home. If a chimney is located on the exterior wall of a residence it shall extend to the ground line. Chimney caps shall be detailed to reflect the character of the house. All chimneys shall be finished in stucco, tabby or other approved masonry type material. Chimneys may project up to 1'-0" into the side, front, and rear setbacks.

- **Roof Penetrations**

Elements such as attic vents, plumbing vents, and other similar roof penetrations shall be placed on a roof face not visible from the street. Skylights up to 30"x 48" help bring light into the heart of a house but are not permitted on the front elevation of a house.

- **Dormers and Cupolas**

Traditional house forms employ dormers and cupolas to add detail and capture views. These architectural devices shall fit the proportion and character of the house. Windows placed within a dormer or cupola shall share this sense of scale. Roof forms for these elements may be selected from among hip, gable, shed, and eyebrow types.



Architectural Elements

Eaves and Soffits

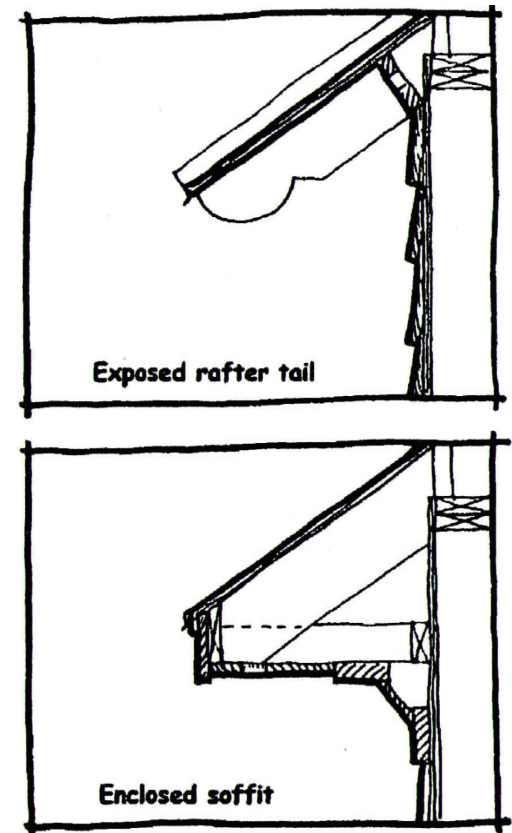
Eaves and Soffits are an integral detail in defining the character of a house. Their design is vital in articulating the transition between the roof and the wall.

Overhangs shall project a minimum of 18" but may not project over setback lines more than 24". Dormers and other smaller elements may have reduced overhangs in proportion to the overall design. Details like exposed roof rafter tails are encouraged throughout Beach Haven to create the beach cottage feeling.

Where enclosed soffits occur, the ARB encourages the use of wood or fiber-cement products. Enclosed soffits also require cornice trim or friezeboard to serve as a transition between the roof and the wall. Fascia and trim shall be as appropriate for the design and should be compatible with soffit material. Certain types of vinyl or aluminum bead board soffit and fascia material may be approved by the ARB on a case by case basis. Soffit vents may be round vents at exposed rafters or continuous maximum 2" wide

vents at enclosed soffits or hidden vent vinyl. Alternate materials will be considered on a case-by-case basis.

Lot Owners are required to control all storm water runoff from their lot and prevent it from running onto adjacent lots. Gutters and down spouts are strongly encouraged for all roof areas that drain directly to the ground and are required on the sides of houses on lots with 5' side yard setbacks. Down spouts may discharge directly to a French drain or be distributed to an underground collection system. Gutters shall be of half round or ogee profiles. Downspouts shall be round or ogee in profile. Gutters and downspouts may be made of copper, galvalume, or pre-finished aluminum. If prefinished aluminum, the gutters shall be painted to match fascia, and downspouts shall be painted to match adjacent walls. Architects and designers shall provide adequate fascia designs to support gutter installation. Gutters and downspouts will be reviewed by ARB as part of the overall stormwater drainage design for the building site.



Architectural Elements

Walls

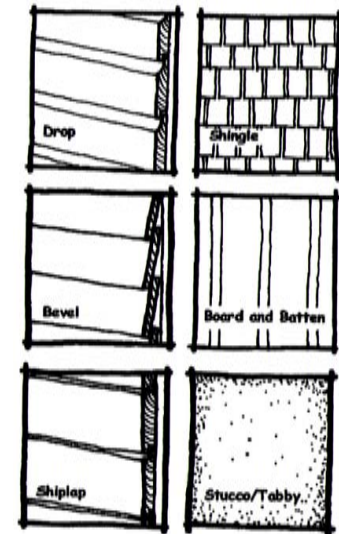
Exterior building materials create the primary visual image and style of a house. In traditional building design the exterior wall or cladding material unifies the entire design and brings the size of the house down to human scale. It is the intent in Beach Haven to create a Florida seaside community unified by the style and character of the exterior building components. Masonry building materials, such as stucco and tabby, are traditionally used as a foundation material because they appear more structurally stable and permanent. Contemporary concrete block foundation wall systems should be clad in a masonry material to achieve this effect.

Coastal vernacular architecture is also typified by the use of wood cladding materials. If a combination of masonry and wood materials is used the masonry shall be used at the lower floor levels, and the wood materials shall be used in the upper stories.

A variety of materials and textures in a design can greatly add to its appeal, and is encouraged where appropriate.

Exterior materials examples:

- Wood Siding -- beveled, ship lapped, dropped siding, board and batten, etc.
- Wood Shingles
- Stucco -- smooth sand finish. (Synthetic stucco patterns must be approved by the ARB.)
- Tabby crushed oyster shell, medium shell (samples must be submitted for ARB approval prior to installation).
- Concrete Fiberboard Siding & Shingles (such as Hardiplank) Smooth finish only for this type of material.
- Coquina Stone



The ARB acknowledges that new and innovative products are available on the market today that simulate traditional building materials. Since many of these products are lower maintenance than wood, the ARB will consider their use on a case by case basis. It must be noted, however, that design and style are paramount for developing a quality community at Beach Haven.

Architectural Elements

All substitute materials must be submitted for ARB Review. Prior use of these materials elsewhere in Beach Haven does not exempt them from ARB Review. Vinyl lattice of sufficient dimension and quality may be approved by ARB if samples are submitted. The ARB reserves the right to require on-site installation of portions of the material prior to approval.



Architectural Elements

Windows and Doors

Windows and doors are more than just openings in a wall that allow for ventilation and light. They are key design elements in creating quality architecture and establishing the unique style of a house. The exterior window and door treatment, or fenestration, should reflect the functions of each space while unifying the entire house design. The ordered arrangement of windows and doors is required to avoid the haphazard appearance of typical suburban design.

▪ Windows

Windows, window panes, and lights shall be of square or vertical proportion. This is key to producing the appearance of a well-proportioned, traditional design. Windows may be made of wood, vinyl-clad wood, aluminum-clad wood, solid vinyl or aluminum. In all cases the profiles of the sashes and frames should approximate the sizes of traditional wood windows. Windows that do not meet this criteria will not be approved.

Divided lights or panes for windows are encouraged since they evoke a traditional architectural design. Various muntin

patterns are allowed, but only as appropriate for the style of the house and as approved by the ARB.

Window glazing may be either clear or tinted. Reflective coatings are not permitted. Decorative or stained glass may be used but must be reviewed by the ARB prior to installation. Transoms are also allowed if appropriate for the style of a house.

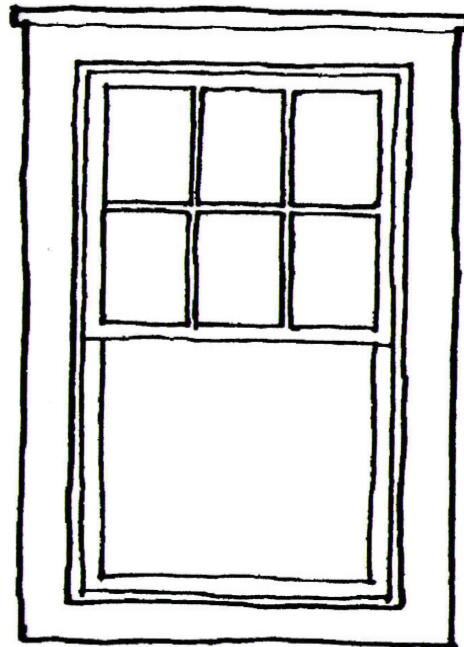
Glass block windows are not allowed.

Architectural Elements

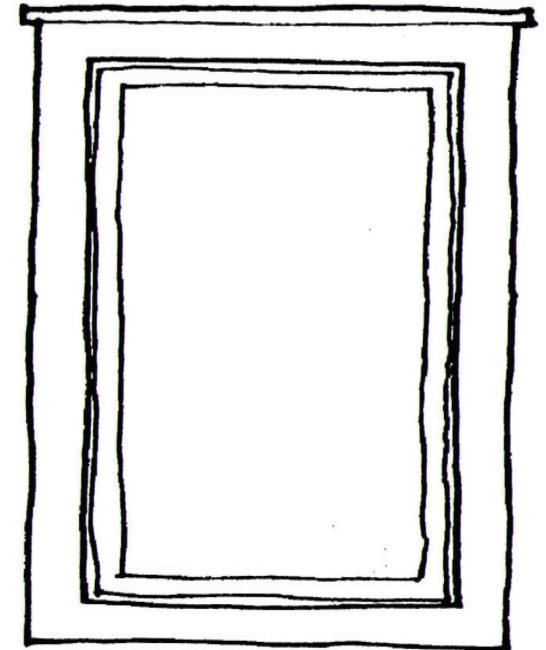
Window Types Allowed

- Double Hung
- Single Hung
- Casement
- Fixed
- Bow or Bay windows appropriate to the design and style of the house, subject to ARB approval. Such windows may extend into front yards up to 36" and side and rear yards up to 24".
- Impact resistant windows. Due to current building code requirements for impact resistant glazing, the ARB realizes that window selection options that meet these requirements are limited. The ARB will consider various window manufacturers by submittal only.
- Note: For double and single hung windows the sashes are required to be of equal size.

Double Hung Window



Casement Window



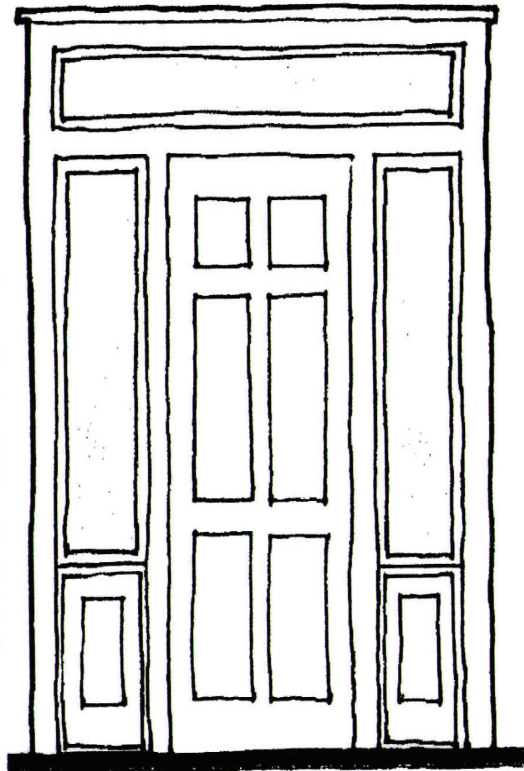
Architectural Elements

▪ Doors

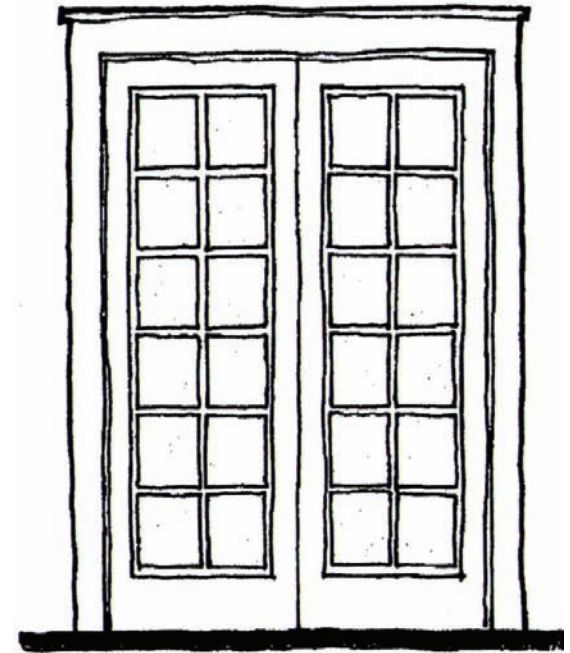
A primary design element of a house is the front door. Entry doors should be carefully designed to reflect the style of the residence and the personality of its owner. Doors shall be of painted or stained wood, fiberglass, or painted metal. Sidelights and transoms are permitted if appropriate to the style of the house. Patterned glass is allowed, however distinct images, such as birds or fish, are not permitted. **All front door designs and colors are required to be reviewed by the ARB prior to installation.**

Patio and French doors shall have minimum side stiles and top rails of 3 1/2" width and bottom rails of 9" width. When visible from the street, sliding glass doors are not permitted in Beach Haven. In some cases, where doors are not visible from the street, sliding glass doors may be permitted.

Front Door with Transom and Sidelights



French Patio Door



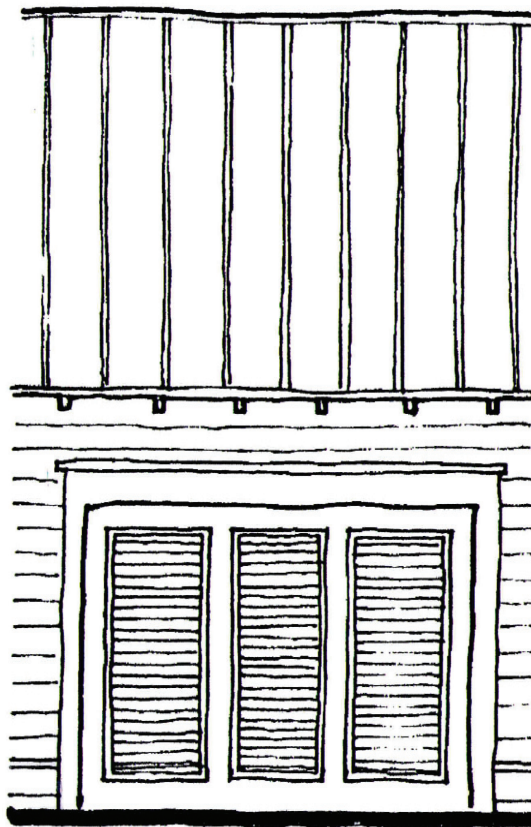
Architectural Elements

▪ Garage Doors

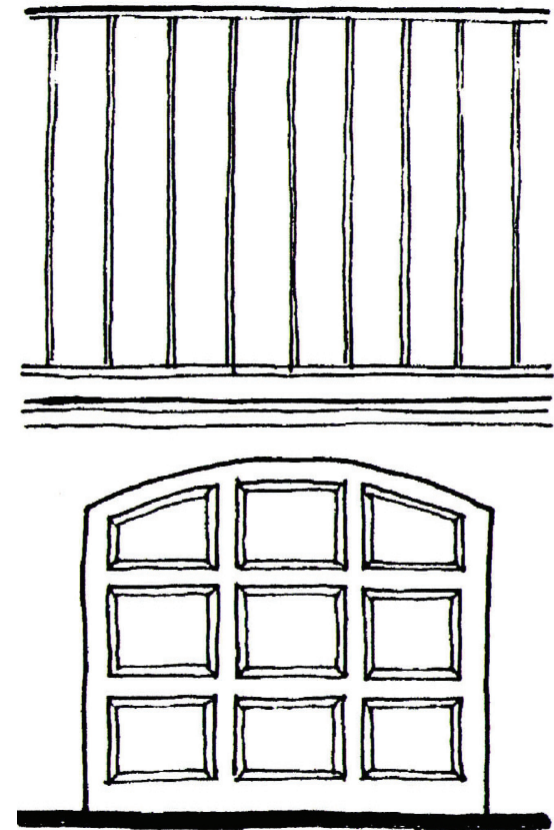
At Beach Haven it is our goal to minimize the impact of the automobile in this pedestrian-oriented neighborhood. The design of garage doors is critical to softening their visual impact. Front facing garage doors are to be a maximum of 9' wide, and 7' to 8' tall. Arched-top doors are allowed if they are compatible with the style of the main house. A minimum of 16" shall be provided between doors. Alley lots may have 16'-18' wide garage doors if they have applied trim that simulates the look of two doors.

All street facing garage doors shall have applied wood trim to create a paneled, louvered, or other design appearance appropriate to the style of the main house. Glass lights or panes are permitted. See also the Garage section under Site Planning for additional details regarding garages. Final garage door design and finish is subject to ARB approval.

Louvered Garage Door



Paneled Garage Door



Architectural Elements

▪ Shutters

In Florida, shutters are a good way to shade and protect window openings, while adding a decorative feature. They may also satisfy the Florida Building Code opening protection requirements. Although operable shutters are not required, shutters must be sized to match the associated window.

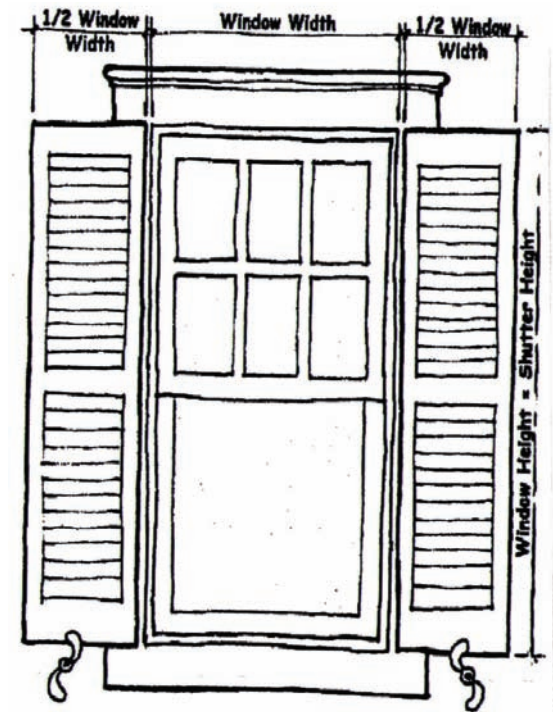
Shutter design should be appropriate to the style of the house such as louvered, paneled, or plank design. They may be either side-mounted or awning type (Bermuda style). Side shutters, must overlap the window jamb trim, and the window trim must extend behind the shutter.

Shutter materials permitted are; painted wood, pre-finished metal, solid composite materials, and vinyl, fiberglass, and composite shutters. Hollow back stamped fiberglass, plastic, or metal shutters will only be considered on a case by case basis.

Shutter hardware design and location must be approved by the ARB. However, to simulate operable shutters, all shutters must have shutter dogs installed.

Storm panels and roll-down shutters are allowed, but only if they are concealed when not in use. The roll down shutter housing, tracks and/or anchors should be removable or concealed.

Shutter dogs--



Architectural Elements

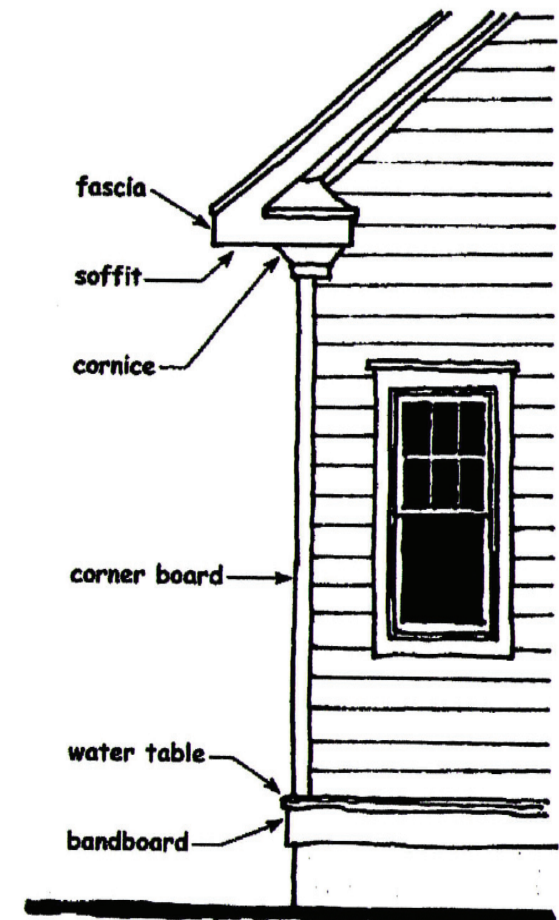
Trim and Decorative Elements

Trim is one of the elements that serves to bring cohesiveness to an architectural design. Trim around doors and windows defines openings; corner boards create a decorative transition between building facades; cornice trim, eave trim and brackets articulate the connection between roofs and walls. All of these elements provide an additional level of detail which sets Beach Haven apart from the typical suburban development.

Window and door trim shall match the style of the house and shall be compatible with wall cladding materials. Wood (painted or stained), concrete fiberboard, and stucco are permitted. Coquina stone and cast stone may be used as reviewed on a case by case basis.

The houses in Beach Haven are required to be elevated above the ground. The use of watertables or bandboards to define the first and second floor lines of the house is recommended. Wood watertable trim shall

be used for houses with wood siding. Cast stone or stucco shall be used for watertables on masonry houses. Exceptions shall be made on a case by case basis as reviewed by the ARB. For example, a horizontal stucco line break which creates some relief at the water table line will be considered.



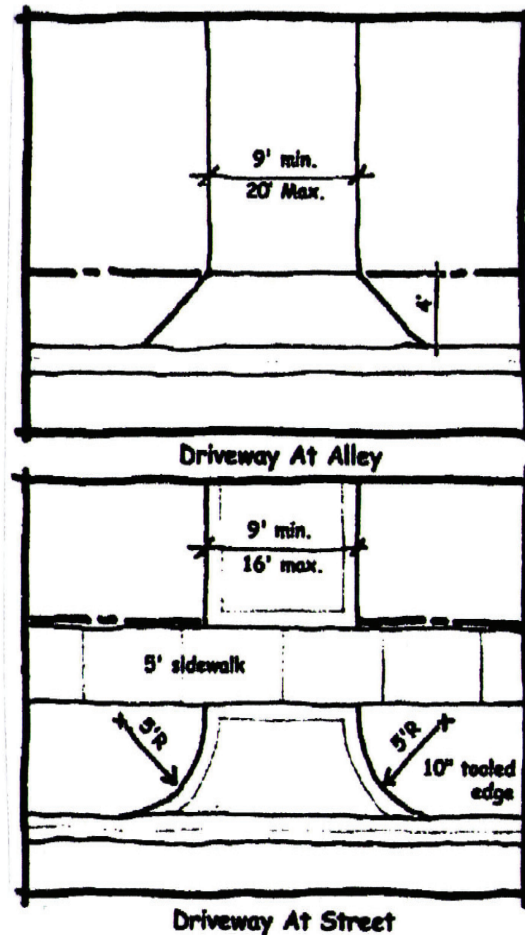
Architectural Elements

Paving

- Driveways

In Beach Haven, guidelines for paving types generate a consistent streetscape indicative of a traditional, coastal vernacular neighborhood.

Driveways on Lots 1-3 of Block A and Lots 1-7 of Block I must be concrete with natural coquina shell aggregate mixed throughout. All driveways connecting into alleyways must be plain unbordered concrete. Driveways on all other lots may be surfaced in a variety of materials *except* plain unbordered concrete. Final materials and design are subject to ARB approval.



- Sidewalks and Walkways

All lots are required to provide a plain grey concrete sidewalk which shall be 5' wide and run the full streetside frontage of their property. The sidewalk shall be located between the curb and the front/side property line a minimum of 7.5' behind the curb. Where specimen trees can be saved, the sidewalk shall meander around the tree. Sidewalks must be installed on or before the completion of construction and landscaping of the house or on a time line per the declaration.

Houses on Lots 4 to 7 of Block D and Lots 3 to 6 of Block E must install the sidewalk against the street curb and it must be a minimum 6" thick.

Front walkways may be paved with a variety of materials including coquina concrete, brick, pavers, or stone as approved by the ARB but not plain unbordered concrete. The front walkway of each house is required to connect the front porch directly to the street.

Architectural Elements

Fences and Garden Walls

- Fences

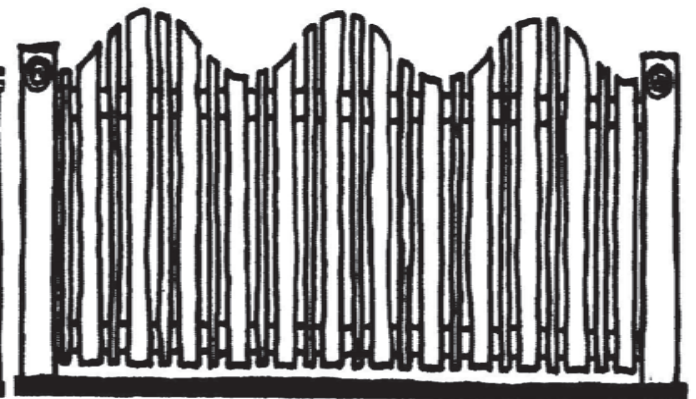
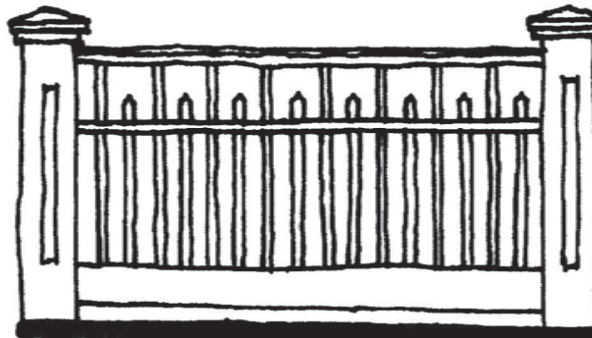
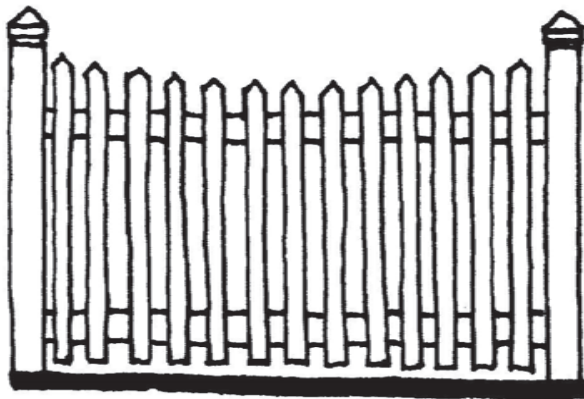
The nostalgic image of a house with a white picket fence exemplifies our goal for Beach Haven. The front yard fence defines the line between the public space of the street and the private space of the yard.

In Beach Haven, picket fences are required in all front yards of Lots 4-27, Block A, Lots 1-20, Block B, Lots 1-19, Block C, Lots 7-30, Block F, Lots 1-20, Block G, Lots 1-21, Block H, and Lots 1-17, Block I. They must be located on the front property line, and

on corner lots along the secondary street side, and extend from corner to corner of the lot and be defined by end posts (6"x6"). The design style of the fence should reflect the design style of the home. Openings at driveways must be delineated with end posts since no gates are required. Any entry gate at the front sidewalk to the front porch is recommended but not required. The design of the entry gates should match or complement the picket fence. All fences must be constructed of pressure-treated wood, and all posts must be made of ground-treated lumber. Fences should be installed as early as possible in

the construction process to allow the wood to dry out before painting. Fences should be painted in a white color as specified by the ARB.

Front yard fences shall be a minimum of 30" high with variations in design. Supporting posts must be minimum of 4" taller than the fence and of an appropriately compatible design. Posts at front yard fences must be of wood, but piers of stucco or tabby may also be used.



Architectural Elements

Side yard and back yard fences may be a maximum of 60" high (starting from front façade of house) and constructed of a combination of piers and wood or metal infill. Fences that are completely or mostly opaque are not allowed.

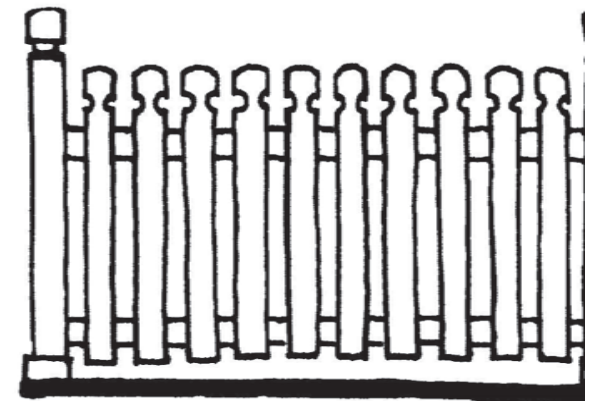
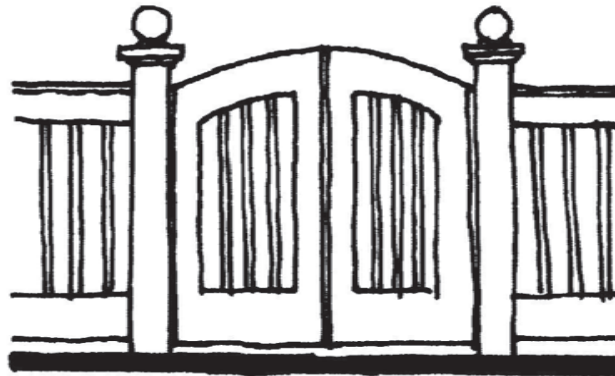
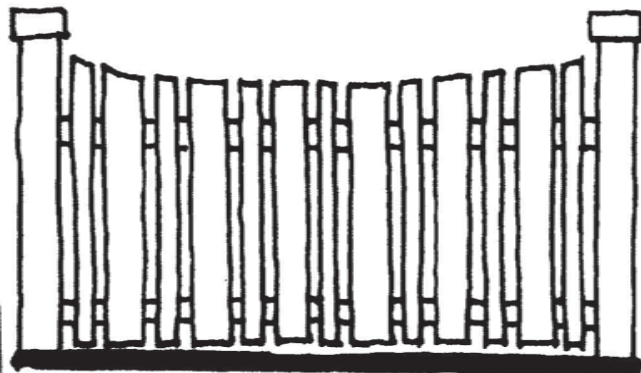
ALL FENCES MUST BE APPROVED BY THE ARB.

- **Garden Walls**

In addition to fences and hedges, garden walls help to screen and define outdoor spaces. Walls can create intimate patios and sitting areas, and screen hot tub decks. However, walls sometimes tend to divide and separate neighbors which is contrary to the community spirit of Beach Haven. Therefore, garden walls shall be limited to

small expanses at rear and side yard locations and may only be used when defining private outdoor spaces.

Appropriate materials are stucco, tabby or brick. Walls must also meet all other applicable codes including height, but in no case shall they be greater than 6'-0" tall. The ARB will consider all garden wall designs on a case-by-case basis.



Additional Items

Any material, structure or ornamentation, whether described here or not, and whether fixed to the residence lot or removable, is subject to ARB review if it impacts the exterior appearance of the house.

Paint colors are an important facet of the house design and greatly affect the overall aesthetic of the community. A variety of colors, ranging from pastels to deep rich tones to natural stained wood are acceptable choices, as appropriate to the style of the house design and as seen within the context of neighboring homes. All paint colors must be reviewed and approved by the ARB. Color boards and colored elevations of all sides must be submitted for approval by ARB. Homeowners or their representatives are required to submit color chips with their final ARB application, followed by samples applied in the field and reviewed by a site visit by an ARB member for final approval.

Design elements including but not limited to **bird houses, weather vanes, fountains,**

trellises, and arbors are wonderful additions to the Beach Haven built environment. They help highlight the character of a home as well as its community. These items are allowed and require ARB approval.

There are many features that enhance the usefulness of the yard during different seasons. Residents may wish to install **outdoor grills, fireplaces, and summer kitchens.** These features are encouraged but require ARB approval. It is important that these elements are appropriate in size, scale, design, location and consideration of adjacent houses.

Utility services, such as meters and boxes, shall be mounted in locations where their aesthetic impact as viewed from the street is minimized. No meters will be allowed on front facades. Underground electrical service and other utilities shall be provided to all houses.

Utility Yards are required in Beach Haven to enclose garbage receptacles, A.C.

compressors, generators, above ground gas tanks, well pump housings and other external appliances. It is suggested that the wall or fences of a utility yard be screened by landscape. External generators, must be regulated for noise level and should only be used in the event of an emergency.

Television or radio masts, towers, poles, antennas, aerials, satellite dishes, or other appurtenances shall not be erected, constructed, or maintained on the exterior of any house or lot unless the location, size and design have been approved by the ARB. Any proposed satellite dish or antenna system for the house is required to be designed to be hidden from view from the street and adjacent lots.

Drying **laundry** outdoors must be done in areas that are completely screened from view from adjacent lots and the streets. All **clotheslines or drying racks** must be approved by the ARB in writing. No rugs, drapes, or other items shall be hung from any portion of the exterior of the house.

Additional Items

Mailboxes for Beach Haven are centrally located in the Postal Building at the Swim Club. No mailboxes, parcel boxes, or newspaper delivery boxes are to be installed on individual homes or lots.

Real Estate "For Sale" and "For Rent" and G.C. construction signs and related posts must conform to the size and style outlined in a handout obtained from the ARB. No other signs may be erected.

No **boat, recreational vehicle, trailer** or non-four wheel passenger automobile may be placed, parked, or stored on any lot or driveway unless contained within a building where it is totally isolated from public view.

Basketball goals are allowed but their design and location must be approved by the ARB in writing.

No **window or wall air conditioning** units are permitted.

Construction dumpsters must be provided during the entire construction period of

each house and must be located on the lot under construction. All construction trash, lunch wrappers, etc. must be picked up and placed in bins and the bins emptied on a regular basis so that the site of each building construction appears neat and clean.

Silt fencing or wire screen fencing must be placed along the rear property line, lake bank, wetland line, and adjoining property lines during the entire construction period of each house to prevent trash, debris, and/or silt or fill dirt from being placed on adjacent wetlands or lots.

No Flood lighting: No exterior flood lights are permitted in Beach Haven.

ALLEY LIGHT ON GARAGE

All alley lot houses are required to install one pie pan light or similar on the alley side of the garage on a photo cell to provide lighting in the alley.

Lots shall not be cleared or improvements constructed thereon unless the ARB has the following:

- 1) approved house plans in writing
- 2) contractor has met with the ARB for a pre-construction site clearing meeting
- 3) contractor has signed a compliance form and paid any required deposit.

Lot maintenance as outlined in the neighborhood declaration is the responsibility of the respective owner. However, in the event that the lot is not maintained as required by the HOA, the Association is permitted, after proper notice, to perform that maintenance and to charge the owner for the cost.

The height, grade, and contour of any **lake embankment** shall not be changed without the prior written consent of the Association. No **decks, docks, moorings, pilings, bulkheads**, or other structures shall be constructed on such embankments.

LANDSCAPING

At Beach Haven, our goal is to create an environment which is both harmonious with the indigenous landscape context and reinforces the unifying characteristics and elements of the neighborhood streetscape. Each lot type should develop a planting scheme that is specially designed for the unique lot as well as create a sense of unity in the Beach Haven streetscape. Therefore, landscapes should be designed with attention to street plantings and the landscape of adjacent lots.

Builders, landscape architects and owners are encouraged to incorporate xeriscape and waterwise landscaping principles into their landscape design. Such principles include the use of Florida friendly plants, both native and non-native, which are indigenous to the area or are adapted to hardiness planting zone 9-A, as well as, the beaches/dunes and maritime forest plant communities. Plant material should be grouped by watering requirements. Plants that are drought tolerant once established are highly recommended. Another principle is to utilize zoned-irrigation, separating turf irrigation from plant bed irrigation.

More information on water conservation, water wise landscaping and Florida friendly plants can be found on the following websites:

www.sjrwmd.com/waterwiselandscapes

www.floridayards.org

www.floridata.com

www.floridanativenurseries.org/county/flagler

The following document outlines general criteria which help homeowners and their landscape architects create a landscape that blends in with the neighborhood and will survive the coastal environment. Proper formatting of Landscape Plan submittal to the ARB is also outlined.

Guidelines for Landscape Design

Existing Trees: All homes, driveways, pools, etc. must be sited to preserve as many existing trees as possible. All existing hardwood trees 4" or greater in diameter and all pines 8" or greater in diameter must be drawn and labeled on the landscape plans with the corresponding caliper inches clearly shown. Existing hardwood and pine trees being removed, outside of building footprint and driveway, must be clearly marked. Existing natural understory plant material must also be shown. The ARB must approve the removal of existing hardwood trees 4" or greater in diameter, pines 8" or greater in diameter, and significant areas of existing scrub oak, palmetto or other understory plants.

Existing trees to remain must be protected before clearing and during construction. Tree protection barricades must be erected around all preserved natural areas and along a minimum of 100% of the drip-line of all preserved trees. *Tree protection barricades should be shown on the site plan or landscape plan for ARB review; this should include a tree protection barricade detail.* All trees to be removed must be flagged with orange flagging tape. Root raking may occur only within the building and driveway pads. Tree protection barricades must be erected and approved by a member of the ARB prior to commencement of construction. Construction vehicles may NOT be parked under trees or within natural areas. Construction materials may never not be stored in the natural areas or under tree canopies.

Tree removal without written approval from the ARB may result in the property owner being fined or the compliance deposit being withheld in full or in part.

Natural Areas: The ARB encourages the preservation of natural areas, including palmetto, scrub oak and good quality understory plant material. All natural areas must be mulched with a minimum of 3" pine straw mulch where applicable. Any natural area which does not contain palmetto/scrub oak cover and has been open to the sun must either be planted with shrubs or ground cover or heavily mulched to restrict weed growth. Natural areas being preserved must be protected by tree protection barricades prior to the commencement of construction and through out to clearing and during the construction process. All other areas, cleared during construction, must be planted with a combination of shrubs, groundcovers and sod, or mulched (please refer to Planting Design for further information).

Conservation Easements and Buffers: Certain lots are located adjacent to or contain landscape easements or buffers (refer to plat for location). Absolutely no work, landscaping, filling, etc. is allowed in these areas per the Recorded Conservation Easement. A note must be included on the landscape plan that no work may be performed in these areas. A silt fence must be erected along the landscape easement or buffer prior to the start of construction activities in areas that abut the buffer. The silt fence must be erected and approved by a member of the ARB prior to commencement of construction. This fence must be maintained until construction is complete. Failure to maintain silt fence may result in the property owner being fined. Fine may be withheld from compliance deposit.

Owners of lots, with landscape easements or buffers, are required to maintain these areas. Owners are allowed to

The Neighborhood of Beach Haven

Revised June 4, 2013

supplement the existing vegetation in keeping with the other provisions of these guidelines, however, prior approval is required by the ARB. ARB approval is also required before any existing plant materials can be removed.

Scenic Corridor: The section of A1A at Beach Haven is part of the A1A Scenic Corridor. Flagler County has strict ordinances regarding the preservation and maintenance of existing vegetation along this corridor, as well as, ordinances regarding the supplementation of landscaping within this corridor.

Tree count in the A1A Scenic Corridor: The total canopy tree count requirements within the front, side, and rear perimeter landscape buffer shall be determined by using a ratio of one (1) planted tree for each twenty-five (25) linear feet of perimeter or one (1) preserved tree of at least fourteen (14) inches of caliper for every fifty (50) linear feet of perimeter. Perimeter calculations shall exclude up to no more than twenty-four (24) feet of access ways through the perimeter in the calculation. Preserved trees may be located up to fifteen (15) feet outside the required perimeter landscape strips, or when no strip is required, away from the property line. If trees are preserved or planted outside of landscape strips, landscape islands must be at least three hundred (300) square feet and must conform with critical root zone standards, with the tree placed approximately in the middle of the island. No fewer than seventy-five (75) percent of the required trees shall be native trees identified on the Interim Index Tree List. If salt air exposure is not a limiting factor as determined by the county administrator or his/her designee, no more than twenty-five (25) percent of the required trees may be palm trees, which must be at least twelve (12) feet high in height at the time of

planting. For development sites greater than one (1) acre, no more than fifty (50) percent of the new trees planted shall be from the same genus (for example oak).

Tree preservation required in the A1A Scenic Corridor: Preservation of all existing native trees larger than six (6) inches in caliper is required within the perimeter area except for access ways.

Understory trees in the A1A Scenic Corridor. Installation or preservation of eight (8) understory trees not less than six (6) feet in height, and one (1) inch caliper measured at six (6) inches above ground from the Interim Understory Tree List for each one hundred (100) lineal feet of front perimeter abutting the public vehicular right-of-way less the frontage for access ways.

For more information on the A1A Scenic Corridor Overlay District, including architectural requirements, refer to **Section 3.06.11. - A1A Scenic corridor overlay district** and **Section 5.01.04. - Landscape development standards** of the Flagler County Code of Ordinances.

NOTE: Information regarding the tree requirements within the A1A Scenic Corridor as stated above is subject to change. Always check the Flagler County Ordinances for compliance.

Lots on Lakes: All lots on lakes must be landscaped down to the water's edge. On lake banks, areas of native marsh grass and other native plant material must be planted near the lake bank. Sod areas are allowed to abut the lake bank but not more than 40% of the lake frontage.

Planting Design: The intent of Beach Haven's planting design guidelines is to aid owners/designers in choosing plant material that will create a landscape environment which is both harmonious with the indigenous plant context and will reinforce the unifying element of the streetscape.

Plant material should be Florida friendly, utilizing native and non-native plants grouped by their watering requirements. Plants should be chosen based on their variations in color, size, and texture to provide visual interest. Bedlines should be curvilinear in nature: linear or rectangular bedlines are prohibited. Plant beds are encouraged to be asymmetrical. One half of the lot should not mirror the other half. Plant materials should be spaced to allow plants to grow into their natural shape and a minimum of half their mature width in order to avoid excessive clipping or pruning: overly manicured plants pruned into geometric shapes are prohibited.

Newly planted landscape beds and bedding material **should adjoin** with bedlines on adjacent lots to create a continuous and seamless rhythm across all lots.

Annual plants may be used for seasonal color, but should be used sparingly and must be replaced regularly. Plant material commonly used in USDA Plant Hardiness Zones 9b-11, which may be damaged by frost, (i.e. hibiscus, Queen & Coconut palms, crotons, philodendron, etc.) may be used as accents, but should be used sparingly and only in areas where they are protected and can grow into their natural form without excessive maintenance techniques. For more information on which plants are cold hardy to Beach Haven (Zone 9a) visit the websites listed under the second paragraph of the section titled LANDSCAPING.

The following is a list of percentages of shrubs/groundcovers, and sod allowed by area (see *Trees* for minimum tree requirements).

Area and percentage calculations for each area must be shown on the landscape plan.

Area between Sidewalk and Curb:

- Small Shrubs/Groundcover: 60-100%
- Sod:
 - 0-40% -Lots NOT located on Alley
 - 0% - Lots located on Alley

(Note: Lots with alley access in the rear are required to have a visitor parking pad in the area between the sidewalk and curb. Refer to Side Street Parking Requirements for more information).

Front Yard (driveway and front walk excluded):

- Shrubs/Groundcover: 50-60%
- Sod: 40-50%

Rear Yard (driveway and patios excluded):

- Shrubs/Groundcover: 30-40%
- Sod/Mulch/Open Area: 60-70%

Side Yard:

- See Tree, Shrub and Sod requirements

Natural areas preserved, with scrub oak, palmetto and good quality understory plant material may count towards the percentage of shrubs/groundcover required. Natural areas preserved without palmetto/understory plants may count towards the percentage of mulch/open area required. Preservation of good quality understory material in the rear of the lot that meets or exceeds the area shrub requirement may be used to meet this requirement, however, additional shrubs may be needed as screening or accents around the house.

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Beach Haven strives to create friendly neighborhood streets that encourage interaction between neighbors. Creation of a pleasant pedestrian environment is imperative. Thus, shade trees or palms, in the front yard, are required to provide a pleasurable climate on the street. Front yard plantings are important because they compliment the overall scale of the home and may demonstrate the individuality of the homeowner.

Requirements for trees, shrubs groundcover, sod, and mulch are as follows:

Trees: It is the intent of the Beach Haven PUD to abide by the Flagler County Land Development Code for landscaping. All trees must be healthy and disease free, Florida #1 grade or better, and must be shaped as they would appear in the natural environment. Tree requirements are listed below. These are minimum standards - the planting of larger caliper trees, additional shade trees, palms, and small trees is encouraged with ARB approval.

Residential lots must be landscaped in accordance with the Flagler County Land Development Code, **Section 5.01.04. - Landscape development standards.** This code requires at least one (1) tree per 3,000 square feet of lot area for the first $\frac{1}{4}$ acre of lot area. *EXAMPLE: Lots 6,000 s.f. in size require two (2) trees.* For lots exceeding $\frac{1}{4}$ acre, one (1) tree for every additional $\frac{1}{4}$ acre or fraction thereof, must be preserved or planted. Existing shade trees, sabal palms, and pine trees may be used to satisfy this requirement, in whole or in part, provided they have a minimum caliper of 2 $\frac{1}{2}$ " inches DBH and an overall height of 10' or greater. Trees planted to meet the minimum requirement on lots east of Coquina Way & Sea Oats Way, may utilize clusters of (3) Sabal and/or Washington

Palms, Southern Magnolias, and Southern Red Cedars as these are tolerant of high salt. Lots west of Coquina Way & Sea Oats Way may utilize Live Oaks, Laurel Oaks, Southern Magnolias, Winged Elms, Red Maple, Water Oak or Sweet Gums. Other shade trees may be specified and installed with prior approval by the ARB (for a complete list of approved shade trees see Section 5.01.09. - Flagler County Shade Trees).

Tree(s) required by Flagler County may be planted anywhere in the rear or front yard, **but may not be used as a substitute for required trees as described below.** Existing trees to be preserved **cannot** be used to meet *Street Trees* requirements as described below. Existing trees to be preserved in the rear of the lot **cannot** be used to meet the requirements of *Front Yard Trees* as described below.

Street Trees: To preserve and enhance the quality of the streetscape, the owner/builder is required to provide a street tree(s) in the ROW of the lot between the sidewalk and curb. All lots, west of Coquina Way & Sea Oats Way, must install one (1) Live Oak, minimum 4" caliper width and 16' height. In cases where a Live Oak is not desired for aesthetic reasons, two (2) Sabal or Washington Palms may be used instead. All alley access lots, east of Coquina Way & Sea Oats Way, must install one (1) Sabal or Washington Palm, minimum 12" caliper and 12' ht. clear trunk due to the salt conditions. All driveway access lots, east of Coquina Way & Sea Oats Way, must install two (2) Sabal or Washington Palms, minimum 12" caliper and 12' ht. clear trunk.

Front Yard Trees: In addition to the Flagler County shade tree requirement, a minimum of two (2) shade trees are required in the front yard of all lots (between the face of the house/porch

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and the back of the sidewalk). One tree must be a 4" caliper/16' tall live oak, the other may be a 3" caliper/14' tall live oak or other tree native to the area. Lots east of Coquina Way & Sea Oats way, may use two (2) clusters of three (3) palm trees to meet this requirement. Palm trees must have a minimum 10' height clear trunk and 12" caliper width, and should be staggered in height. Sabal palms or Washington Palms are required for this substitution. Other specimen palms such as Canary Island Date Palms, Medjules, Sylvester palms, etc. may also be used with ARB approval and can replace the 3" cal. front yard tree. Queen palms and similar type palms will not qualify for shade tree replacement.

It is the builders and/or homeowners responsibility to locate all utilities before planting required trees. If there is a conflict in placing the tree(s) due to utilities in the area, the ARB should be contacted. If a shade tree(s) are naturally present in the front yard of a lot, the existing tree(s) may be used for this requirement with the approval of the ARB.

Corner lots are required to have additional trees: two (2), 4" caliper/16' tall shade trees or two (2) clusters of three (3) palms located between the curb/rear of sidewalk and the side of the house.

Rear Yard Trees: To further add to the tree canopy of Beach Haven, rear yard trees are required. At least two other shade trees must be planted in the rear yard of each lot. Trees must be 4" caliper/16' tall and 3" caliper/14' tall – one of these must be a live oak; the other may be a tree native to the area. Lots east of Coquina Way & Sea Oats Way, may substitute this tree requirement with two (2) clusters of three (3) palms (see *Front Yard Trees* for palm tree requirements).

The location of side rear yard trees must be coordinated with those located on or proposed on adjacent properties. If a shade tree(s) are naturally present in the rear yard of a lot, the existing tree(s) may be used for this requirement with the approval of the ARB.

Side Yard Trees: Side yard trees are NOT required between the building restriction line (B.R.L.) of lots. Owners/contractors who wish to plant side yard trees, to provide screening, may use sabal palms within the building restriction line area. Sabal palms must have a minimum of 10' height clear trunk and 12" caliper width, and be staggered in height. The location of side yard trees must be coordinated with those located on or proposed on adjacent properties. Owners/contractors who wish to use small trees or large shrubs other than sabal palms, must get prior approval of the plant selection by the ARB.

Shrubs: Shrubs are required as part of the overall landscape plan. All shrubs must be Florida #1 or better. Shrubs should be Florida friendly, native or non-native species, that are drought tolerant once established. A minimum of fifty percent of shrubs used should be native/indigenous to the area. Shrubs should be spaced to allow plants to grow into their natural form and half their mature width to avoid excessive clipping or pruning. Shrubs may NOT be pruned into geometric shapes or patterns. Shrubs of varying heights and textures should be used to create visual interest.

Single row foundation plantings along the front and rear of the house are prohibited; this includes corner lots where the side of the house faces the street. Shrubs planted directly along the foundation must be spaced in a triangle pattern, and must be a minimum of 7 gallons with a minimum 24"-30" height and

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spread. All other shrubs should be spaced in a triangular pattern to create a mass of shrubs and must be a minimum of 3 gallons with a minimum of 18"-24" height and spread.

A single row of shrubs may be planted along the foundation of the sides of houses within the B.R.L., but may not extend farther than 10' past the front or rear of the main body of the house. A minimum 3' wide side yard maintenance access strip must be present on one side of the lot and should be coordinated with neighboring lots.

A single hedge row of shrubs between neighboring lots is also prohibited. Plant material should be massed to create a unified buffer with the neighboring lot. Massed shrubs must be coordinated with those located on or proposed on adjacent lots.

See Amendment 1



Shrubs commonly used in USDA Plant Hardiness Zones 9b-11, which may be damaged by frost, may be used as accents, but should be used sparingly and only in areas where they are protected and can grow into their natural form without excessive maintenance techniques. Special care should be taken in selecting shrubs that are suitable to the 9A planting zone for cold hardiness. (See websites listed under Planting Design for more information).

Ornamental Grasses: The use of ornamental grasses is encouraged. Ornamental grasses that are native/indigenous and drought tolerant are a great way to provide different textures, colors and seasonal interest to the landscape. All grasses must be Florida #1 or better and must be a minimum of 3 gallons in size.

Groundcovers: Ground covers should be used in areas that require low planting, such as the front of beds, under trees, or in areas where clear site lines are important (i.e. driveway and street intersections). Sand, rock, or other non-organic material may not be used as ground cover.

All groundcovers must be Florida #1 or better and must be a minimum of 1 to 3 gallons in size – perennials or creeping plants, such as Asiatic Jasmine may be specified as 1 gallon material. Spreading groundcover shrubs, such as low growing junipers, must be 3 gallon material. Groundcovers should be spaced to allow plant material to grow into half its mature width and to avoid excess clipping and pruning. A natural growth pattern is suggested for all groundcovers.

~~Sod: All areas of a lot not covered by plant beds or maintained elements of the streetscape, front yards must be sodded with Sea Shore Paspalum sod or St. Augustine sod. Rear yards may use the above mentioned sod types or other sod types (i.e. bahia, zoysia) with prior ARB approval. All sod must be weed and peat free.~~

Mulch: All planting beds must have a minimum of 3" of mulch to aid in water conservation. Natural-colored pine straw and natural-colored pine bark are the only approved mulch materials. Pine bark may be 3/4" to 1.5" in diameter. Mulch must not be dyed. Pine bark mulch may not be used in beds located between the sidewalk and curb or adjacent to driveways or front walks ~~where pine bark may be washed into the storm drains.~~ It is the homeowner's responsibility to remove any pine bark washed into gutters or onto storm drains immediately after a rain storm event. Failure to do so

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may result in a fine. Shells, stone, and gravel are prohibited as mulch materials, but can be used as pathway materials.

Plant Materials and Pools: All pools must be landscaped to soften the view of the pool, deck and/or enclosure from adjacent lots. Additional plantings are required around screen enclosures to mitigate views from adjoining lots.

Plant Quality and Size: All plant material must be Florida #1 grade or better. Shrubs and groundcovers must be specified by height and width and gallon size, **the height and width specified will always take precedence over gallon size.** Trees must be healthy and disease free. Trees must be shaped as they would appear in the natural environment.

Details: Each landscape plan submittal must include planting details to aid the ARB in understanding the methods that will be used for installation. Where applicable, these details must include installation/staking for both single-trunked and multi-trunked trees, installation of shrubs and groundcovers, and spacing patterns. Other site amenities, such as gazebos or trellises, must also be detailed in this section or on the architectural plans.

Irrigation: For all lots, irrigation must provide 100% coverage and be fully automatic, low-volume, water conserving systems. All shrubs and ground covers must be irrigated by pop-up sprayers or emitters. Turf areas must be zoned separately and can be irrigated using pop up sprays or stream rotors. All irrigation must adhere to the watering restrictions set forth by the Saint Johns River Water Management District. This information can be found at [www.sjrwmd.com/watering restrictions](http://www.sjrwmd.com/watering_restrictions).

Homeowners/contractors must provide full irrigation coverage to the curb and to the lake bank. Overspray onto paved surfaces is not allowed.

Fertilizer: Only biodegradable fertilizers and EPA/DER approved pesticides and fungicides may be used on any property.

Damaged Plant Material: Any material which dies or becomes unsightly after installation must be replaced immediately or within 30 days of notification by the ARB.

Landscape Planting Budget: The ARB recommends a landscaping planting budget of approximately 5% of the building construction cost. This will vary depending on the size of the lot and house. A general guideline for determining the landscape budget is: square footage of house x \$150.00 x .05 = budget. The percentage may vary depending on the size and remaining tree canopy of the lot.

Hardscape, Drainage & Grading

Drainage and Grading: It is the responsibility of the owner/contractor/ or landscape contractor to ensure proper drainage is maintained. The architectural site plan must include a grading and drainage plan outlining the drainage flow on each lot. Refer to the civil engineering plans for lot drainage concepts. Fill should not be added within the drip lines of existing trees to remain.

Landscape Lighting: Exterior lighting plans and material specifications with cut sheets must be included for review on the Landscape Lighting sheet of the Landscape Plan drawing

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set. All landscape lighting must be designed so as not to impact the adjacent houses.

Hardscape Layout and Detailing: Hardscape layouts and details must be submitted to the ARB for approval prior to commencement of construction. See other sections of these guidelines for specific requirements.

LANDSCAPE SUBMITTALS

All owners must submit a landscape plan designed by a qualified designer. Landscape plans are graphically-scaled, legible drawings which include a planting plan, landscape lighting plan (if applicable), and details. In general, landscape plans illustrate the location of trees (existing and proposed), shrubs, ground covers, grass, mulch, landscape lighting, statuary, trellises, decks, pools and/or other items to be installed outside the structure of the house.

The landscaping must be installed in accordance with the approved plans. Minor design adjustments may be made; however, major changes, such as replacement of specified plants with another type, or relocation of proposed tree(s) must be submitted to the ARB for review and approval.

Each submittal must consist of the following:

Planting Plan:

- Specific location where each plant or mass of the same plant is used
- Each plant species must be indicated by a separate symbol, pattern, or number on the planting plan and in the key.

- Location and species of neighboring plantings where applicable.
- Plant List and Key showing the abbreviation or number key used in the plan
- Botanical and common names of the plants
- Size by height and spread of material at installation and gallon size
- Quantity of each plant
- Asterisk by Native plants and Florida Friendly plants
- Caliper of trees at 12" above the grade line
- Notes and Comments

Details, Minimum Required Specifications, and Notes:

- Planting details for groundcovers, shrubs, and trees
- Plans and details for gazebos, trellises, fences, walls, or any other built site amenities (unless noted on architectural plans)
- Notes on quality of planting material and specifications
- Tree Protection Detail

The landscape plan set must be submitted on 24"x 36" format & have a drawn scale of either 1"=10' or 1"=8'. The ARB reserves the right to request re-submittal of larger-scale plans or a larger sheet size. Compass north must be indicated on each sheet of the plans. Each sheet must have a title block containing the following:

- Lot number and unit
- Name of homeowner
- Name of contractor
- Date (including revision dates if applicable)
- Printed name of designer & FL license number
- Designer's signature and/or seal

ARCHITECTURAL REVIEW

The Architectural Review Process

The Architectural Review process requires the following steps and submittal requirements:

STEP 1 - Preliminary Design Submittal

This step is for review of the general design concept for the house. **All of the requirements below are intended to assist in satisfying Flagler County Land Development and Beach Haven PUD requirements.** Submissions shall include:

- Boundary and tree and top survey prepared by state licensed surveyor and to include all specimen hardwood trees 6" or greater in diameter, all pines 8" or greater, and topographic contours at a minimum one (1) foot intervals. The survey should be 1/8"=1'-0" or 1"=20'-0" scale.
- Site Plan: minimum scale 1/8" = 1' - 0") to include building footprint, setbacks, sidewalks, fences, pools,

walkways, driveways, patios, utility yards and accessory structures. Note all trees to remain and to be removed including those inside the building footprint. Indicate location of building footprints for adjoining houses.

- Floor Plans: (minimum scale 1/8" = 1") to include square footage breakdown for each floor.
- Exterior Elevations: (minimum scale 1/8" = 1') to include all four (4) elevations and noting all exterior materials.
- Design Review Application Form: completed and submitted along with application fee

STEP 2 - Construction Documents and Landscape Plan Review Submittal

This step is to confirm that the design is substantially similar to the design approved in Step 1 and to see details and final site plan.

- Site Plan: (minimum scale 1/8" = 1') to include all items listed under

STEP 1, Site Plan Submittal plus existing and proposed changes to topography to accommodate on-site drainage requirements. Refer to Design Review Checklist for additional requirements.

- Final Construction Documents:
 - Foundation Plan
 - Floor Plans
 - Exterior Elevations
 - Wall Sections and Details
 - Electrical Plan
- Final Landscape Plan: to include existing trees and natural vegetation to be preserved, plant materials list, irrigation plan, note on the source, lighting plan and site drainage plan. Refer to Landscaping section of Design Code for additional requirements.
- Design Review Application Form: a completed form including Exterior Material and Color Specifications and Color Samples for all materials.

ARCHITECTURAL REVIEW

STEP 3 - Site Stakeout/Pre-site Clearing/Pre Construction Meeting

Pre-Construction Meeting

- Final building footprint stakeout must be approved on-site by ARB prior to commencement of site clearing and construction.
- A Compliance Agreement shall be completed and signed by Owner and Contractor and shall include a compliance deposit or other deposits some or all of which may not be refundable.
- Site stakeout review will require that the contractor has staked out the building envelope on site. The contractor shall also have marked all trees to remain and installed all tree protection barriers and silt fences as noted elsewhere in this code.

STEP 4 - Framing Inspection

- Final building wall and roof framing must be approved on-site by ARB at completion of building framing. ARB will verify compliance with approved drawings.
- All building colors must be approved on-site by ARB prior to installation of final colors and materials.

STEP 5 - Final Site Review and Landscaping

- Final approval of house and landscaping must be obtained from ARB prior to occupancy by the Owner.
- The Homeowners Association will also release the compliance deposit minus any deductions from subdivision damage or non-compliance.

The ARB will meet on a regular basis. Meeting times and dates are subject to change. Contact the ARB office for this information. Specific deadlines will be established for being placed on the agenda and for receipt of submission materials.

This section of the Design Code is not intended to be a complete description of the Review Process but a general overview. For more detailed information on the duties of the ARB, see the Beach Haven Declarations. Application forms and Compliance Agreement can be obtained from the ARB.

ARCHITECTURAL REVIEW

APPROVAL OF DESIGNERS AND BUILDERS

The unique character of the Beach Haven streetscape depends on the quality of the design, construction, and landscaping of each home. This process begins with the selection of a qualified designer, contractor, and landscape designer who understand the vision for Beach Haven and are willing to adhere to the Design Code.

To ensure this happens, the Declaration of Charter, Easements, Covenants, and Restrictions for Beach Haven require that all designers and builders be approved to work in Beach Haven Prior to commencement of any work.

Architects and Designers

All architects and designers wishing to work in Beach Haven must be approved by the ARB prior to submitting any designs for review. Approval will be based on the designer's ability to produce each type of drawing required for ARB review, the ability to provide precise details that clearly identify all elements of the construction project, an understanding of the Design Code and a willingness to adhere to its requirements.

Specifically the architect or designer will be required to submit to the ARB for consideration:

- Resume
- Designs that demonstrate the designer's ability to create quality architecture (submit a minimum of 3)

- Construction drawings that demonstrate the designer's ability to detail the house
- References
- Any other material the designer feels will demonstrate their abilities (photos of completed projects, etc.)

The ARB will review the designer's submission at one of its regularly scheduled meetings and will respond in writing to inform the designer if they are approved. Please note that approval can be withdrawn for failure to sufficiently perform within the Design Code or lack of cooperation with the ARB.

ARCHITECTURAL REVIEW

Builders

All builders must be approved by the Founder or the ARB to work in Beach Haven. It is crucial that all builders understand the vision for Beach Haven and know the Design Code as they are responsible for implementing the designer's ideas in the field.

Approval of builders will be based on their ability to construct quality homes in accordance with the approved plans, specifications, and Design Code parameters.

In order to receive approval, the builder must submit the following to the ARB for review:

- Resume
- Copy of license

- Photos of built work (min. of 5 different projects)
- References from clients
- References from designers (specifically this should address the willingness and ability to adhere to the plans)
- Other information deemed necessary for approval

The ARB will review the builder's submission at one of its regularly scheduled meetings and respond in writing to inform the builder if they are approved.

Please note that approval of a builder can be withdrawn for failure to adequately perform within the Design Code, lack of cooperation with the ARB's

request, for not adhering to the approved plans and specifications, and failure to comply with other rules and regulations as outlined in the Declaration or HOA rules and regulations.

It must be noted that it is not the intent of this approval requirement to dictate the owner's selection of their design and construction team, but to help ensure that the vision for Beach Haven is achieved. The ultimate benefit of this process will be a beautiful community for all to enjoy.

ARCHITECTURAL REVIEW

Construction Procedures

Lots shall not be cleared or improvements constructed thereon until the ARB has reviewed and approved all plans for construction in writing.

The contractor and owner must also have a required on site meeting prior to commencement of any site work including clearing. At this meeting, the Owner and contractor will be required to submit a signed Compliance Agreement, a deposit, and confirm that all other requirements have been met.

Silt fencing must be installed and maintained throughout construction along the top of lake banks, along the wetland lines, or upland buffer lines behind and/or beside each house,

and on property lines next to existing lots/houses to prevent trash, debris, silt, fill dirt, etc. from blowing, washing, or being placed within the lake or wetland areas or the community at large.

Streets must also be maintained on a regular basis including all debris and sand that may have blown off the street. If the Builder fails to maintain the streets on a regular basis the ARB may require the Builder to clean them on a daily basis.

Construction bins for trash must be provided during the entire construction term for each house. Bins must be placed on the lot on which the house is being constructed unless approved in

writing by the adjacent property owner. If such an agreement is made the contractor is responsible to ensuring that this lot is also kept clean. All sites must be maintained neat and clean and free of trash and construction debris at all times. Bins must be dumped regularly to prevent overflow.

Remedies for non-compliance with the rules and procedures outlined above can be found in the Enforcement Section of the Declaration of Charter, Easements, Covenants, and Restrictions for Beach Haven (the Declaration).

Glossary

Alley: Vehicle or utility access located to the rear of a lot.

Arbor: A leafy, shady recess formed by tree branches, shrubs, or vines that grow intertwined through an overhead latticework.

Architectural Review Board (ARB): An appointed board of professionals and persons authorized under the guidelines to review plans and designs.

Balcony: An elevated, railed platform projecting from the facade of a building.

Balusters: Any of a number of closely spaced supports for a railing.

Balustrade: A series of balusters that support a railing.

Bandboard: A horizontal member of slight projection marking a division in the wall plane.

Bracket: A support projecting from a wall to hold or bear the weight of a shelf or part of a cornice, often decorative.

Build-To Zone: The area up to which the front of a house must be built.

Cantilever: An element that projects well beyond its vertical support, such as a balcony.

Cast Stone: A pre-manufactured stone product often used for patios, stairs or wall caps.

Ceiling Height: The height measured from the floor to the bottom of the ceiling.

Column: A cylindrical, vertical, structural member, usually long and slender, often with a capital and base.

Coquina: A soft porous limestone composed of fragments of shells and coral.

Corner Board: Vertical, exterior trim applied at the corners of a building that aid in the delineation of two adjoining exterior walls and cover the resulting seam.

Cornice: The ornamental, continuous horizontal trim between the soffit and the exterior wall of a house.

Crawlspace: An underfloor space that allows for access to pipes and ducts.

Cupola: A small, circular or square structure rising above a main roof.

Deck: A raised wood platform with no roof.

Dormer: A secondary feature of a building housing a window or vent, which is set upon the slope of a roof surface.

Drop Siding: Exterior wall covering of horizontal boards undercut on the lower edge to overlap.

Glossary

Eave: The projecting edges of a roof that overhang the wall.

Enclosed Area: All spaces surrounded by walls and a roof.

Exterior Cladding: A veneer of materials applied to the exterior walls of a house.

Facade: The elevation or face of a house as viewed from the exterior.

Fascia: A horizontal trim band which defines the edge of a roof.

Fence: Semi-transparent barrier separating public from non-public space, usually located in the front of a house.

Footprint: The outline of a house's ground floor plan from an overhead perspective.

Gable Roof: A roof with a flat, vertical triangular section at the end of the roof, thus only sloping on two sides.

Garage: A building or room for the storage of automobiles.

Garden Wall: A wall, or hedge along rear and side property lines. Usually more opaque than a fence to increase privacy, and constructed of materials similar to the house.

Hip Roof: A roof with sloping sides and ends.

Lattice: A structure of crossed wooden strips, usually arranged to form a diagonal pattern of open spaces and often utilized as decorative infill between masonry foundation piers.

Lite: A single pane of glass in a door or window.

Louver: A small opening composed of overlapping, downward sloping slats which shed rain while admitting light and air.

Masonry: Brick, block, or stone construction that is secured with mortar.

Massing: The arrangement of various geometric forms that make up the volume of a house.

Muntin: The small members that form a grid to hold the edges of window panes within a sash.

Outbuilding: A separate building from the principle house.

Overhang: The projection of the roof beyond the wall below it.

Patterned Concrete: A decorative surface treatment pressed or etched into concrete.

Picket: Typically flat, pointed vertical members of a fence supported by a top and bottom rail.

Pier: An upright structure of masonry to serve as a principle support, whether isolated or as part of a wall.

Glossary

Plank: Type of gate, door or shutter construction utilizing vertical wooden boards with horizontal supports.

Porch: A covered, visually open space, projecting from the facade of a house, no less than 8' in depth and 9' in height.

Proportion: Comparative relation between elements' size, especially the relationship between vertical and horizontal dimensions.

Rafter: A wooden member of a roof structure which slopes downward from the ridge line.

Roof Pitch: A term which refers to the steepness of a roof slope by comparing its vertical rise per horizontal foot.

Scale: The proportions of a building in relation to its surroundings, particularly other buildings in the surrounding context.

Setback: The minimum distance a building edge may be located from a property line.

Shed Roof: A roof with a single sloping pitch.

Shutter: A hinged cover for a door or window.

Sidelight: A glass window pane located to the side of a main entrance way.

Siding: Building material used for surfacing a house.

Site Contours: Lines that represent the relative elevation on a given area or surface.

Soffit: The exposed undersurface of an overhead component of a house, usually at the overhang of a roof.

Specimen Tree: A tree that, due to its unique qualities of age, size or beauty, should be preserved.

Streetscape: The overall appearance and feel of a street and its associated houses and surrounding landscape.

Stucco: A plaster material applied as an exterior wall finish.

Style: Classification of architecture based on common elements that were popular during a given period of history, not to be confused with building type.

Tabby: A primitive form of concrete made by mixing equal parts of sand, water, and oyster shell and oak ash.

Tooled Edge: A decorative groove applied to concrete.

Topography: The physically detailed description of a piece of land.

Tower / "Scenery Loft": Round or square vertical building element, generally with a separate roof differentiating it from the main body of the building, that extends above the main roof of the house.

Transom: A small window over a door or another window.

Glossary

Trellis: A framework used to support growing vines or climbing plants.

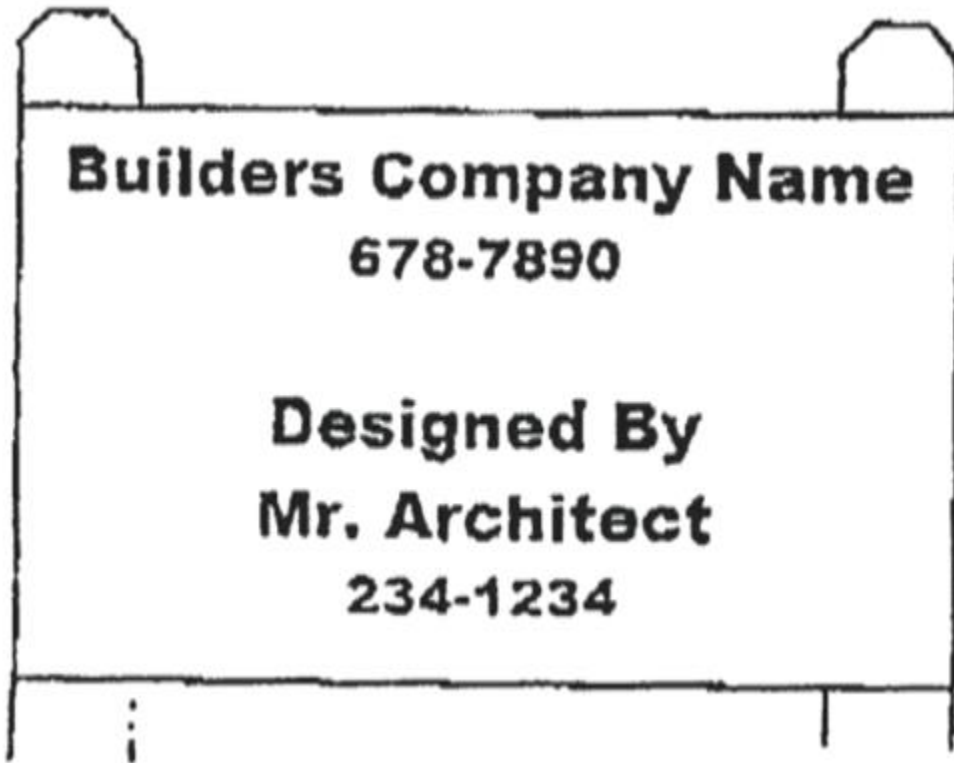
Trim: Elements of windows or doors used to decorate and frame their interior and exterior borders.

Watertable: An exterior trim band which defines the separation between floors.

Widow's Walk: Roof deck placed at the peak of a roof historically named for decks used by the sailor's wives waiting for their husbands to return from sea.

Several definitions courtesy of Dictionary of Architecture, Henry Saylor, copyright 1952 by John Wiley & Sons, Inc., New York.

Builder Signage Specs for Model Home

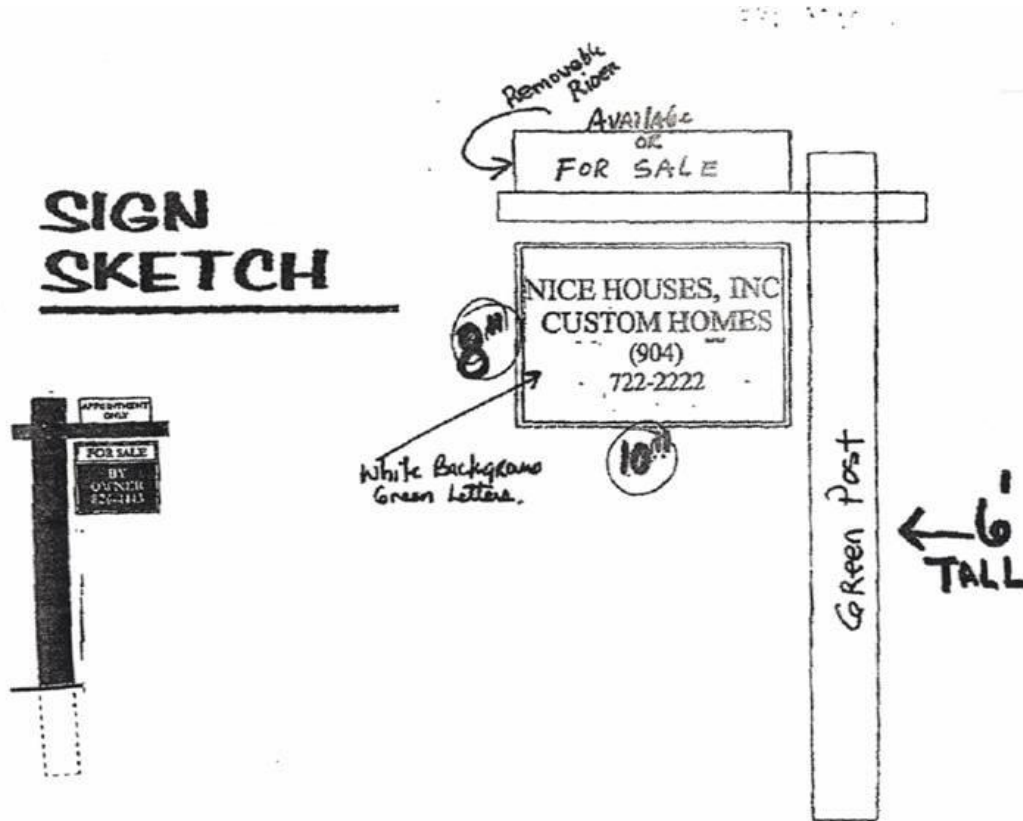


- Only one sign is allowed [2 x 1-1/2] for model, if built by the builder / contractor.
- Signage shall be 2 feet wide and 1 1/2 feet tall, supported by two (2) 4"x4" post with a decorative top.
- The top of the post shall be no higher than 4 feet off the ground.
- It should contain the builder/contractor name and other professional names such as architect, engineer, etc., should you wish.
- No Other Sub-Contractor Signs Will Be Allowed & No Signs On Common Areas.

Signage Specs for Individual Home/Lot Signs

Individual Home/Lot Signs Must Have:

- White Background & Green Lettering
- Post - Green & 6' Tall
- Sign - 8"X10"



Rules for Showings and Access To Community:

- Realtors should accompany all potential clients, clients may not enter without a realtor present.
- Realtors can enter once showing business card with their company name and realtor name on it, they will then show their driver's license and the name must match – provide address you are going to.
- Realtors should accompany photographer OR photographer should have business card with their company and personal name on it, they will then show their driver's license and the name must match – provide address they are going to photograph.

Amendment #1

Beach Haven Design Code Amendment to Landscape Guidelines Dated 9-30-14

If sod is specified in the landscape of any house or common area of Beach Haven, the sod type, as of 10/01/14 is changed from St. Augustine or Sea Shore Paspalum to **Zoysia**. Zoysia is more pest tolerant and requires less irrigation to grow and thrive. It also has a wonderful feel underfoot.

For those homes and areas currently sodded with St. Augustine, there needs to be no change. This change applies only to new houses and sod areas that have not been installed as of this date, 10/01/14.

Beach Haven Neighborhood Association

Adopted Changes to the ARB Guidelines

Amended September 13, 2016

For Lots on Block I:

1. Paver driveways are required for all Block I lots.
2. The 3rd floor of a house constructed in Block I may have conditioned space of up to 60% of the 1st or 2nd floor conditioned space (whichever is greater). Increases of up to 70% of the 1st or 2nd floor conditioned space (whichever is greater) may be allowed based on the design of the house, but in no case shall the 3rd floor conditioned space exceed 1000 sq. ft., regardless of the area on the 1st or 2nd floors.
3. For houses in Block I, the 3rd floor porches may be constructed in addition to the maximum conditioned space, but may not exceed the area of the porches on the 2nd floor.

Fencing:

1. Fencing built on Beach Haven alleys must be built no closer than 2 ft. from the alley curb edge.
2. Air conditioners and other exterior appliances (pool equipment, irrigation pumps, etc.) **for all lots less than 60 ft. wide** must be screened with 7 gallon hedges consistent with the rest of the landscaping in the yard. **All lots 60 ft. and greater in width** must have a wall or fence built to screen from view the air conditioners and other exterior appliances, with landscaping around the fence/wall.